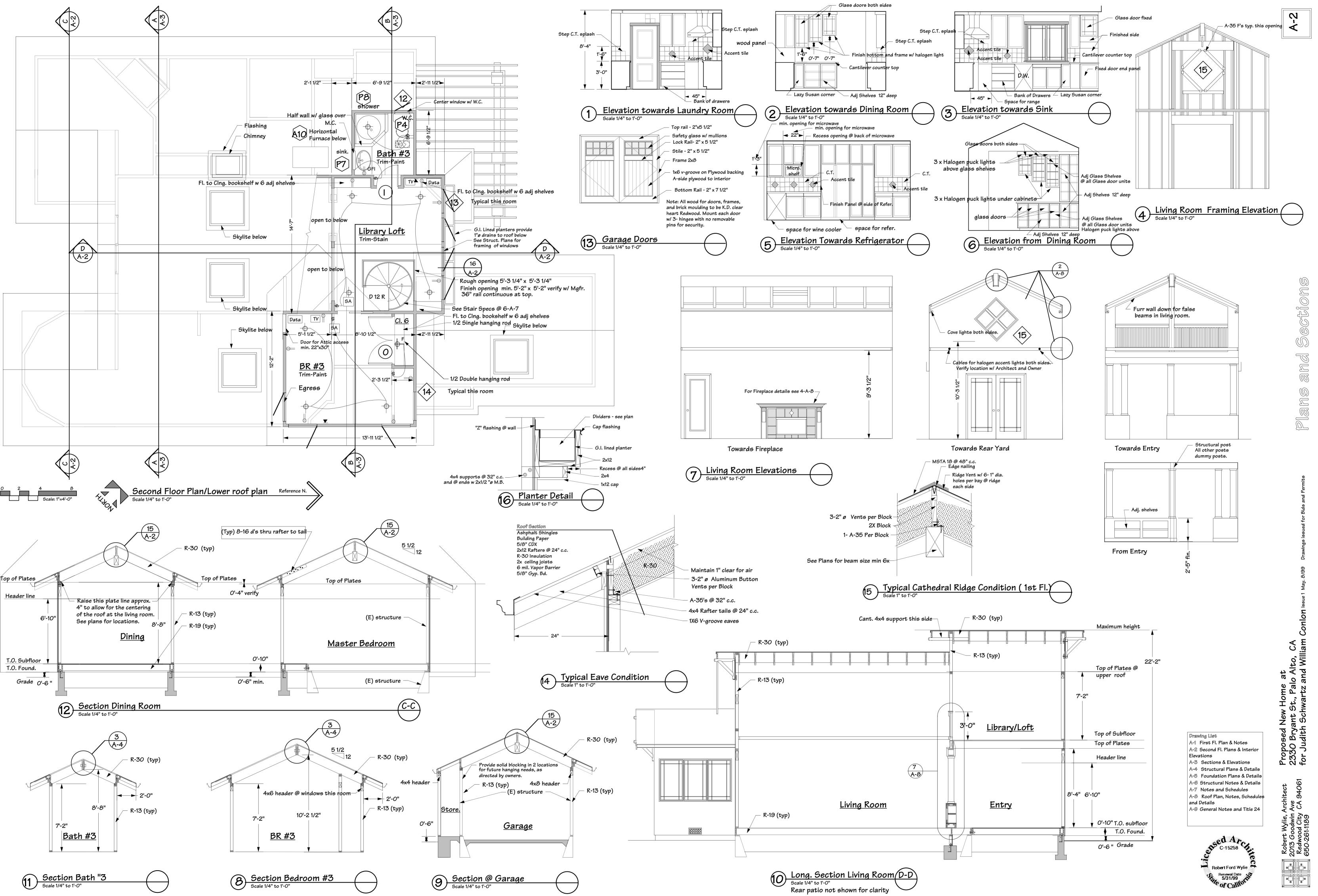
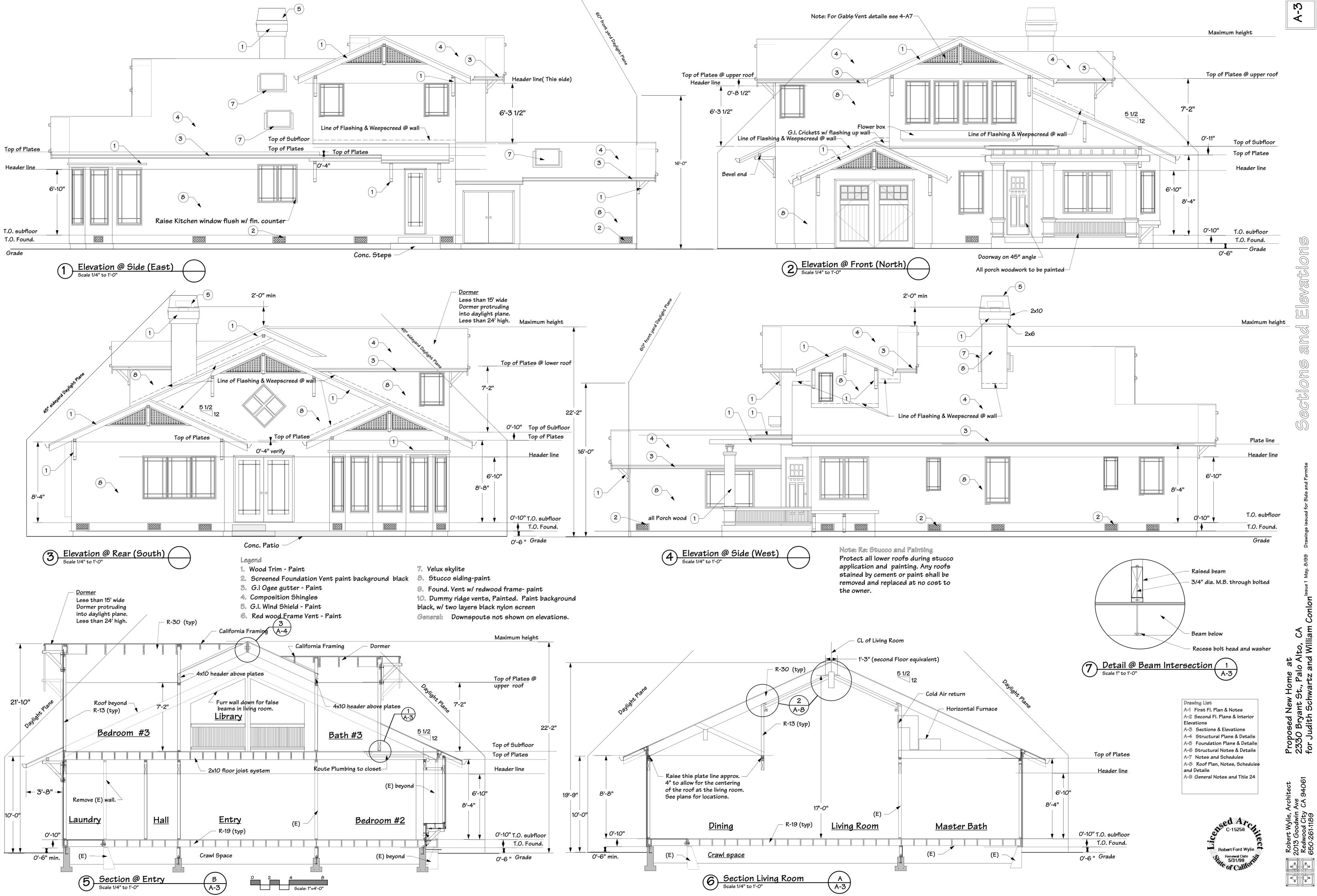


Legend -	Switches	and	Outlets/Msc.

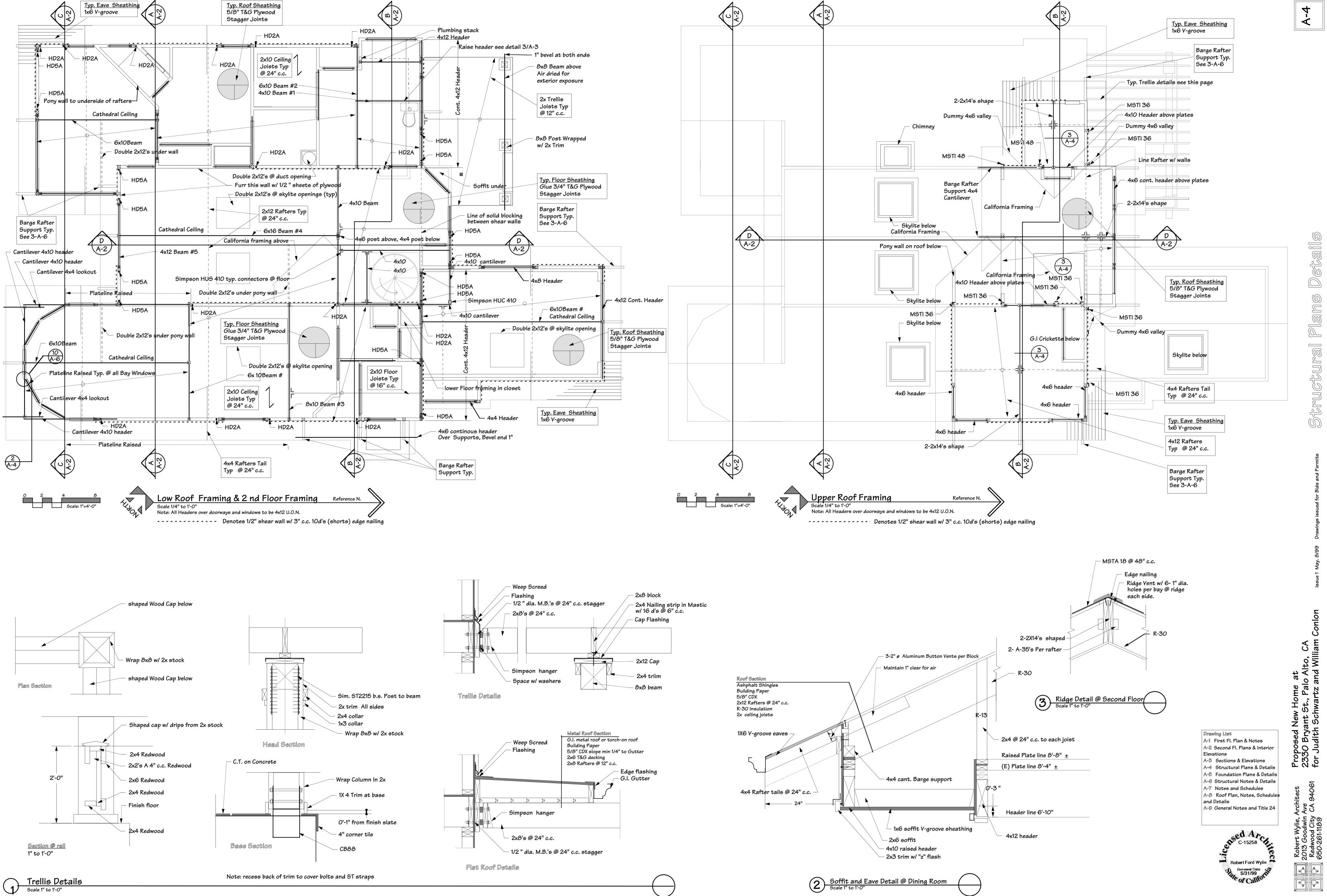
Legena - t	DWILCHES AND OULIELS/MISC.	
_⊖ GFI	Ground Fault Interrupter	-
=⊖ Art	Recessed wall outlet for artwork locate exactly with owners	
\Rightarrow	Duplex outlet- locate 6'-0" c.c. 6'-0" max from end of wall space	
⇒ 220	220V outlet	
\$	Single Pole switch	
\$ Dim.	Single Pole switch - Dimmer	
\$ T	Timer Switch	
S 3	Three Way Dimmer Switch	
54	Fourway way -switch	
¥	Telephone	
SA	Smoke Alarm	
TY	Coaxial Cable	
- WR GFI	Water Resistant outdoor outlet Ground Fault Interrupter	
\bigcirc	Junction Box	
Data	Computer Connections	

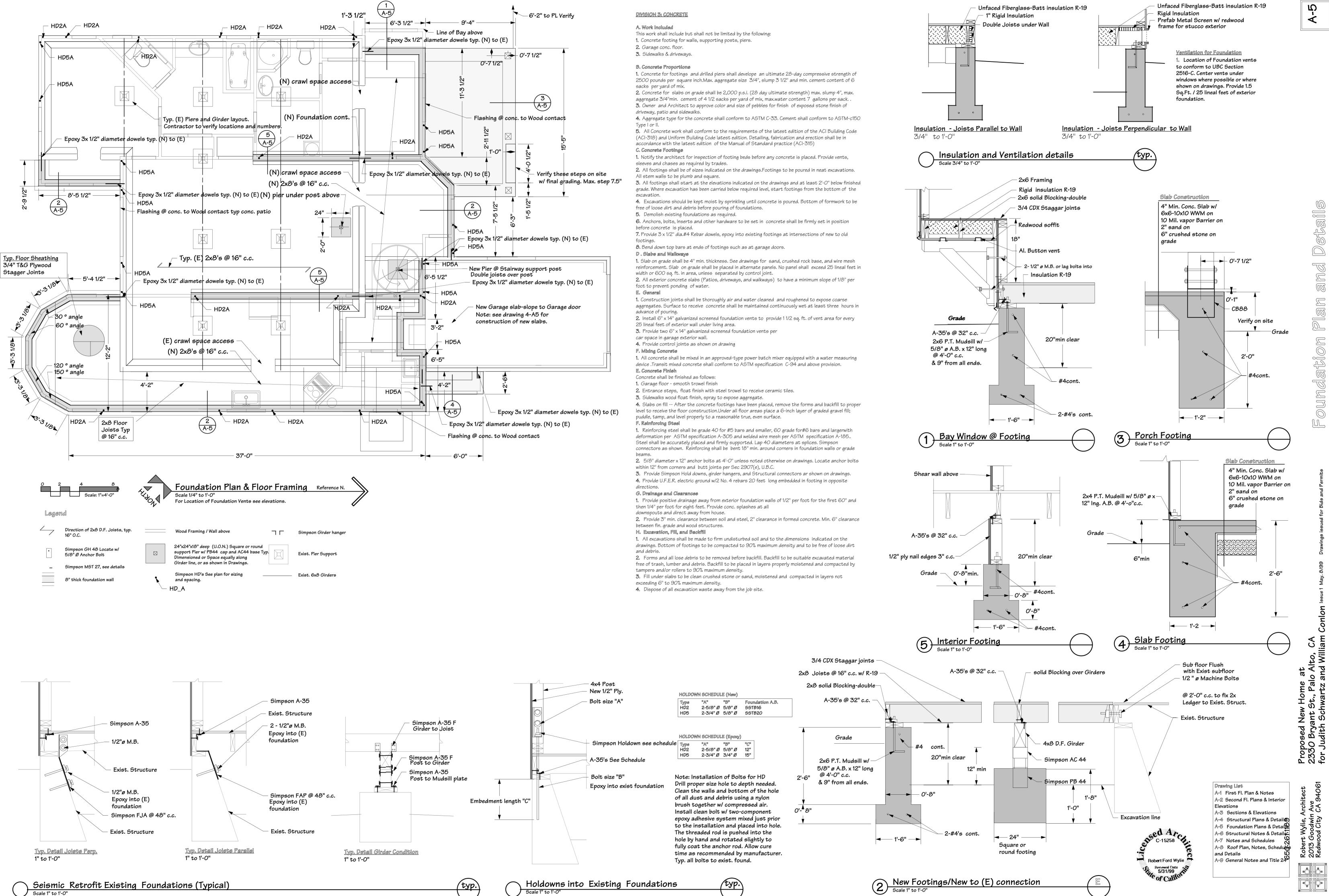
)—	Wall mount light fixture
)	Halo H7T w/ White trim wall washer 75 W
\Box	Combo. Fan/light Nutone or equal Owners to approve
)-	Recessed Incd. Light Halo H7T w/ White Coilex baffle trim 75 W (Provide sloping trim and cans in cathedral ceilings)
Flour.	Halo H7T w/ White Coilex baffle trim Fluor. Light
	Halo L651 (4'),L652(8'), L653(12') Light-trac raceways Minature w/ Live end connectors Bronze fininsh. Owners to purchase, contractor to install.
	Electrical Notes: \diamond Provide CatV LAN Computer Network to locataions as shown. Home-run all Locations to Panel in back of closet in Laundry Room. \diamond Provide Stereo Speaker Wire to seven locations as designated by owner. Home-run all wires to mixer box as directed by Owner. Owner to provide in wall speakers, Contractor to install. \diamond Provide hard wired security system to all operable doors, windows, and skylites. \diamond Provide 2" dia. ABS conduit from crawl space to attic in duct chase for future communications needs. \diamond Provide Coaxial cable to attic for future Owner installed T.Y. antennae. Home-run all T.Y. coaxial Locations to



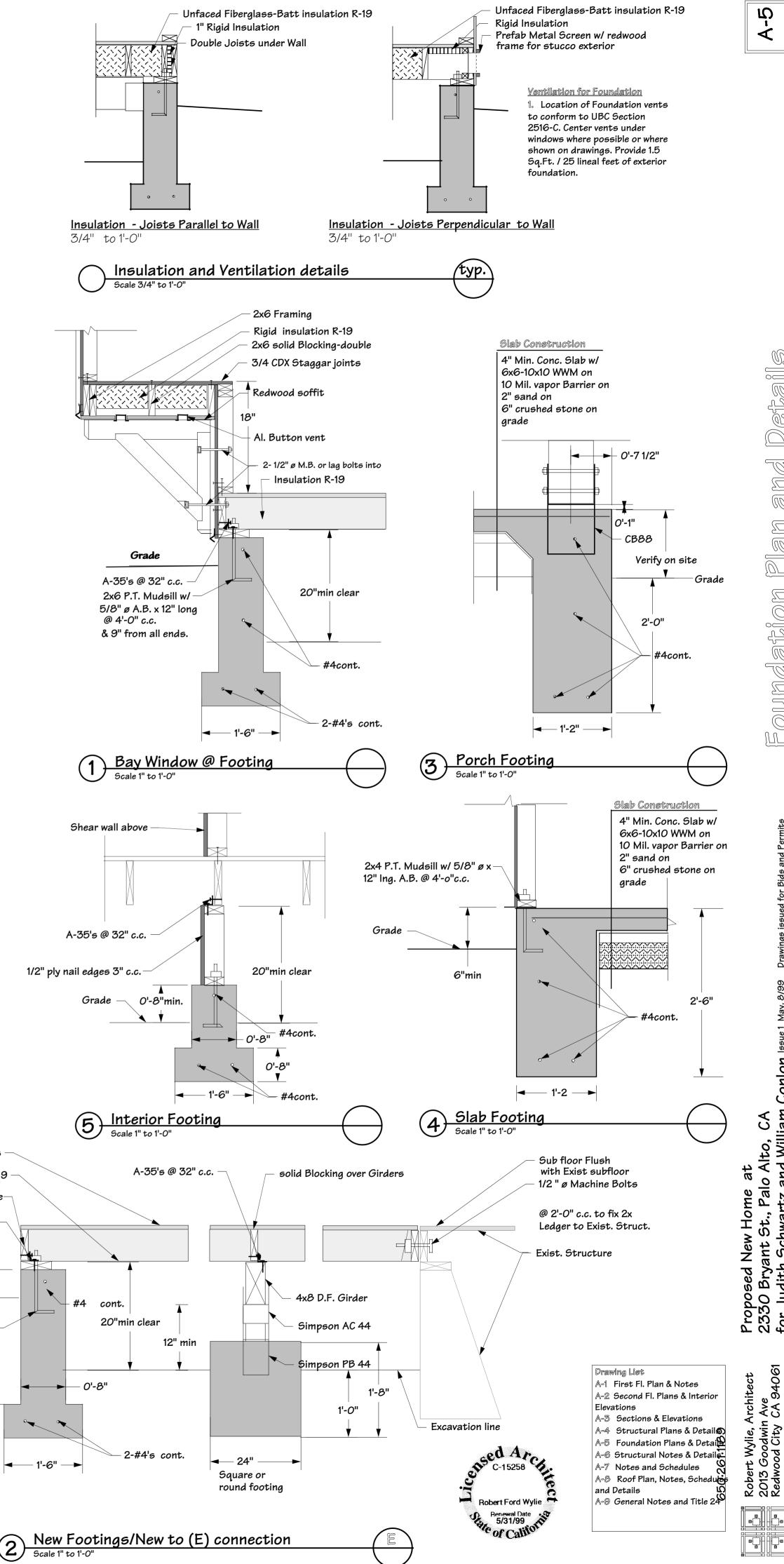


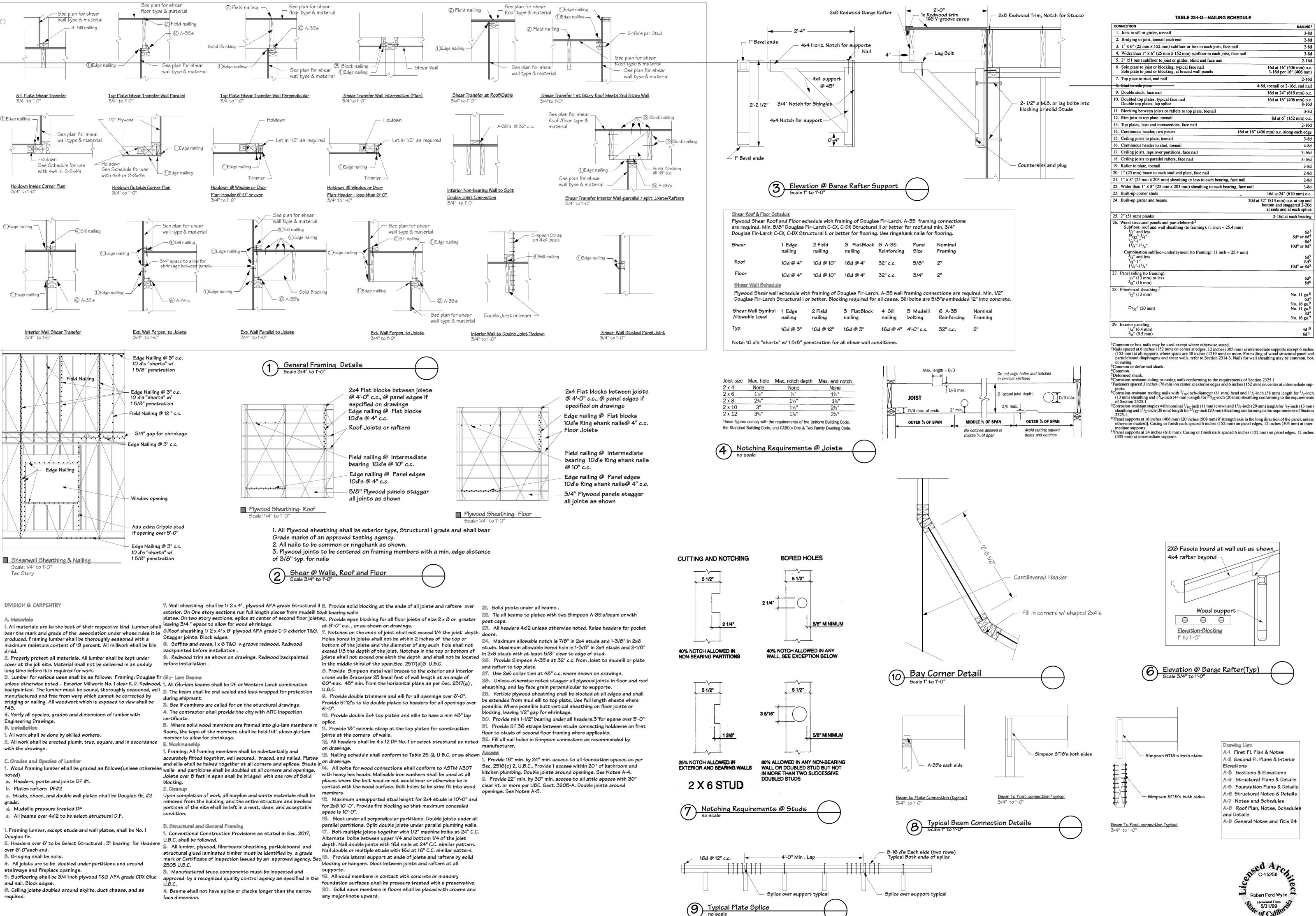
 \square W tions











	E
CONNECTION	NAILING ¹
1. Joist to sill or girder, toenail	3-8d
2. Bridging to joist, toenail each end	2-8d
3. 1" x 6" (25 mm x 152 mm) subfloor or less to each joist, face nail	2-8d
4. Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist, face nail	3-8d
5. 2" (51 mm) subfloor to joist or girder, blind and face nail	2-16d
 Sole plate to joist or blocking, typical face nail Sole plate to joist or blocking, at braced wall panels 	16d at 16" (406 mm) o.c. 3-16d per 16" (406 mm)
7. Top plate to stud, end nail	2-16d
8. Stud to sole plate	4-8d, toenail or 2-16d, end nail
9. Double studs, face nail	16d at 24" (610 mm) o.c.
10. Doubled top plates, typical face nail Double top plates, lap splice	16d at 16" (406 mm) o.c. 8-16d
11. Blocking between joists or rafters to top plate, toenail	3-8d
12. Rim joist to top plate, toenail	8d at 6" (152 mm) o.c.
13. Top plates, laps and intersections, face nail	2-16d
14. Continuous header, two pieces 16d at	16" (406 mm) o.c. along each edge
15. Ceiling joists to plate, toenail	3-8d
16. Continuous header to stud, toenail	4-8d
17. Ceiling joists, laps over partitions, face nail	3-16d
18. Ceiling joists to parallel rafters, face nail	3-16d
19. Rafter to plate, toenail	3-8d
20. 1" (25 mm) brace to each stud and plate, face nail	2-8d
21. 1" x 8" (25 mm x 203 mm) sheathing or less to each bearing, face nail	2-8d
22. Wider than 1" x 8" (25 mm x 203 mm) sheathing to each bearing, face n	ail 3-8d
23. Built-up corner studs	16d at 24" (610 mm) o.c.
24. Built-up girder and beams	20d at 32" (813 mm) o.c. at top and bottom and staggered 2-20d at ends and at each splice
25. 2" (51 mm) planks	2-16d at each bearing
26. Wood structural panels and particleboard: ² Subfloor, roof and wall sheathing (to framing): (1 inch = 25.4 mm) $\frac{1/2''}{32''-3/4''}$ $\frac{7}{8''-1''}$ $1^{1}/8''-1^{1}/4''$	6d ³ 8d ⁴ or 6d ⁵ 8d ³ 10d ⁴ or 8d ⁵
Combination subfloor-underlayment (to framing): (1 inch = 25.4 mm) $\frac{3}{4''}$ and less $\frac{7}{8''-1''}$	6d ⁵ 8d ⁵
$1^{1}/8''-1^{1}/4''$	10d ⁴ or 8d ⁵
27. Panel siding (to framing): ¹ / ₂ " (13 mm) or less ⁵ / ₈ " (16 mm)	6d ⁶ 8d ⁶
28. Fiberboard sheathing: ⁷	
¹ / ₂ " (13 mm)	No. 11 ga. ⁸ 6d ⁴ No. 16 ga. ⁹
²⁵ / ₃₂ " (20 mm)	No. 11 ga. ⁸ 8d ⁴ No. 16 ga. ⁹
29. Interior paneling ¹ / ₄ " (6.4 mm) ³ / ₈ " (9.5 mm)	4d ¹⁰ 6d ¹¹

¹Common or box nails may be used except where otherwise stated. ²Nails spaced at 6 inches (152 mm) on center at edges, 12 inches (305 mm) at intermediate supports except 6 inches (152 mm) at all supports where spans are 48 inches (1219 mm) or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2314.3. Nails for wall sheathing may be common, box

otherwise marked]. Casing or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at inter-

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Ave

Robert Wylie, A 2013 Goodwin Redwood City 650.261.1189

Plumbing Schedule/ Appliance Schedule

Ρlι	IW	bing S	chedule/	' Appli	ance Sc	hedu	le		
Room Kitchen	Item P1 A3	Item Sink #1	Fixture Sink Faucet Garbage Disposal Air Gap	Brand Kohler Grohe GE	Model# Bakersfield 33.853 GFB1050G	Color White Chrome N.A.	Purch. Cont. Cont. Own. Cont.	Install Cont. Cont. Cont. Cont.	Remarks three holes model K5834-3U Europlus model, with removable faucett head, w/ optional Grohe soap dispenser. Undermount style.
	A6	Wine cooler	Wine cooler	U-line Bosch	75-WC SHU4302UC	White	Own. Own.	Cont. Cont.	
	A4 A2	Dishwasher Range	Dishwasher Range	Kit. Aide	KGST307GWH	White	Own	Cont.	provide gas and elcetric hookup as required
	A5 A1	Range Hood Microwave Refrigerator	Hood Microwave Refrigerator	Best Jenn-air	K41 (E)	SS White White	Own Own Own.	Cont. Cont. Cont.	w/ ext. vent. Provide for Automatic Ice Maker See elevations
Master Bath	P5	Basin	Lavatory Faucet	Porcher Grohe	1224 Taron	White Chrome	Cont. Cont.	Cont. Cont.	Graphique model single hole single hole
201011	P3	Toilet	Toilet	Toto	Ultimate	White	Cont.	Cont.	complete w/ seat
	P8	Tub set	Tub set	Grohe	25.597	Chrome	Cont.	Cont.	w/ lever handles, 18.754, complete w/ hand held spray
	Р6 No #	Tub Towel Bars	Tub	Porcher	1109	White	Cont. Owner	Cont. Cont.	Graphique model
Bath #2	P7	Basin	Sink	Whithause	WHSL207A	55	Cont.	Cont.	Wall mounted, verify all fixture locations before rough in.
	P4	Toilet	Faucet Toilet	Grohe Toto	Taron Ultimate	Chrome White	Cont. Cont. Cont. Cont.	Cont. Cont. Cont. Cont.	single hole complete w/ seat
	P8	Shower	shower head volume controls	Grohe Grohe	Talia 19.710	Chrome Chrome	Cont. Cont.	Cont. Cont.	
	No #	Glass door Towel Bars					Cont. owner	Cont. Cont.	Shower doors, tempered, in green tint to match lav glass.Owner to approve
		Medicin cab.	Medicin cab.	Robern	PLM1637		Cont.	Cont.	round top m.c. w/ PLL1.5F lights on each side
Bath #3	P7	Basin	Sink Faucet	Kohler Grohe	Farmington Talia 20,892	White	Cont. Cont.	Cont. Cont.	wide set
	P4	Toilet	Toilet	Kohler	Wellworth	White	Cont.	Cont. Cont.	complete w/ seat
	P8	Shower	shower head volume controls	Grohe Grohe	Talia 19.710 Talia 19.710		Cont. Cont.	Cont. Cont.	
		Glass door Towel Bars					Cont. Owner	Cont. Cont.	Owner to approve of glass and frame, tempered glass
	N <i>o #</i>	Medicin cab.	Medicin cab.	Robern	PLM1637	Chrome	Cont.	Cont.	round top m.c. w/ PLL1.5F lights on each side
Laundry		Washer	Washer	Maytag	Neptune	White		Cont.	Stack units
	A7 P2	Dryer Sink	Dryer Sink	Maytag Elkay	Neptune	White SS	Owner Cont.	Cont. Cont.	Electric Dryer T.B.C.
		Faucet	Faucet	Price/Pfister	n	00	Cont.	Cont.	T.B.C.
Мөс. Ар	р. А9	Fireplace	Fireplace	Majestic	SH36	Black	Cont.	Cont.	Provide Comb. air kit, flue, storm collar, chimney top. Glass doors finish and style approved by owners. Min. flue height 15',and all items necessary to install. UL#MH6018
	A1 <i>0</i>	Furnace	Furnace	Bryant	36CAV-048096		Cont.	Cont.	w/ electrostatic filter option.
	A8	Elect. Cleaner H.W. heater	r H.W. heater	Carrier Sears	31-KAX016 33055		Cont. Cont.	Cont. Cont.	electrostatic filter 50 Gal. Fast recovery,high eff. with recirculating hot water system.
	, 10	1.1.1.100001		00010	00000		00110	00110	

Note: Owner to provide all Towel bars, T.P. dispensers, in all baths. Contractor to provide necessary blocking and installation. Locate Exactly w/ Owner on site before installation.

<u>Room Finish S</u>	<u>chedule</u>							
Room	Struct.	Fl.Fin.	Base	Crown Trim	Walls/Tex./fin	Cln'g. /Tex./fin	Wood Trim	Remarks
Mas. B.R.	Wd.	Wood/oak	Wd.	2" Crown, paint	Gyp.Bd. PLF	Gyp.Bd. PLF	Paint enamel	
Mas. Closet	Wd.	Wood/cedar	Wd.		Gyp.Bd.w/ cedar finish	Gyp.Bd. PLF	Paint enamel	
Mas. Bath	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bath #2	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bath #3	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bed. #2	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Bed. #3	Wd.	Wood/oak	Wd		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Cl. #1 , 4, &5	Wd.	Wood/oak	Wd		Gyp.Bd. PLF	Gyp.Bd. PLE	Paint enamel	
Laundry	Wd.	C.Tile	Wd.		Gyp.Bd.PLE	Gyp.Bd. PLF	Paint enamel	
Entry & Hall	Wd.	C.Tile	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Loft / Library	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Living room	Wd.	Wood/oak	Wd.	3" Crown, stain	Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Dining	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd.PLF	Stain	
Kitchen	Wd.	C.Tile	Wd.		Gyp.Bd.PLE	Gyp.Bd. PLF	Stain	
Dining	Wd.	Wood/oak	Wd.	2" Crown, stain	Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Garage	Conc.	conc.	None		Gyp.Bd.PLF	Gyp.Bd. 5/8 type"X" PLF	Paint enamel	
Hot Water Closet	Conc.	conc.	None		Gyp.Bd.PLF	Gyp.Bd.PLF	Paint enamel	
Entry Porch	Conc.	C.Tile	None		Stucco PLF	sand finish	Paint enamel	

Floors

Wood/oak-means new 2 1/4"x3/4" Red Oak over Sub floors. Provide stain samples for approval owner's approval.

oGreen waterproof board for tile backing @ splash backs and walls where tile is to be applied.

o Gyp.Bd. plaster -like finish

Provide samples for owner

Walls

DIVISION 9: FINISHES

A. Work Included

This work shall include but shall not be limited by the following:

1. Gypsum wallboard. 2. Hardwood strip flooring.

3. Painting.

4. Stone and Ceramic Tile

B. Gypsum Wallboard

Nailing

<u>General</u> When practical, wallboard should be applied first to the ceilings, and then to 13/8" - 14 gauge, acid-etched, phosphate coated nail, or 4d "drytite" nail walls. Sheets should be brought into contact but not forced into place. Spaces between sheets should not exceed 1/4" andtapered edges should be 5/8" thick drywall: all framing conditions @ 24" c.c. placed next to each other when possible. Drywall should extend at least 6" 6d cement-coated box nail, or pastdoor and window openings, except where this is impossible. Cutouts for 11/2" - 14 gauge, acid etched, phosphate coated nail, or 5d "drytite" nail electrical outlets, pipes, fixtures or other small openings should be cut out neatly with amaximum clearance of 1/4". If there are any gaps exceeding 1/4", construction must comply with Table 7B of the 1994 UBC. they must be filled with taping cement, Fixall or other approved materia and Joint Finishing holes must be filled before the drywall is inspected, but do not tape joints prior to inspection.

Nails should be driven so that the head is in a small dimple formed by the last blow of the hammer. Takecare not to fracture the board when nailing. Fractures of the wallboard caused by over driving must becorrected by additional nailing. Nails must be between 3/8" and 1" from the edges, and nails on adjacentedges should be opposite each other. If you are using the and 8" on center on the walls. The double nailing system is alsopermitted. Groups of 2 nails 2 - 2 1/2" apart are spaced 12" on center in this system. Approved screwsmay also be used to apply wallboard. Screws must be placed 3/8" from the end or edges of the board and spaced 12" on center. Screws must be used for fastening wallboard at pocket doors.

All metal reinforced corners must fit snugly against wallboard and should be two coats of pure white shellac where paint or enamel is to be applied. nailed approximately 12" oncenter. All "L" edge metal trim should be nailed 2. Schedule of Painting every 6". Paperback corner bead is acceptable if installedas per the manufacturer's instructions.

Drywall In Shower Enclosures

When gypsum board is used as a base for tile or wall panels for tub or shower finished material which is to be applied. Prime all sides of exterior enclosures, water-resistant gypsum backing board shall be used. Nailing of woodwork. Prime back of door and window exterior trim before installation. the drywall in a shower enclosure is the same as for any other area; however, 💩 Exterior woodwork: Paint all exterior doors, windows, and trim with two additional treatment may be required depending on what system is used to coats of approved trim and shutter paint. installtile or other wall finishes. Check with the Building Inspector for further requirements in this area.

Ceilings

o Gyp.Bd. plaster -like finish Provide samples for owner approval.

Paint/Finish

PLF-Paint Latex Flat PLFE-Paint Latex Flat Enamel PLE- Paint latex enamel ST. Stain

Note: Walls and ceilings to recieve a plaster like finish U.O.N..Provide samples for Owner to approve.

Drywall In Fire Resistive Construction There are two areas in residential construction where one-hour f ire resistive construction is required. One area is the wall separating an attached garage from the living area, and the other is enclosed usable space (walls and ceilings) under a stairway. A one-hour firewall is constructed as follows: 5/8" type "X"gypsum wallboard is nailed 7" on center with 6d "cooler" nails to studs spaced 16" on center. All gaps and penetrations must be filled with taping cement or stuffed with noncombustible material such as fiberglass insulation Recommended Nails For Drywall

1/2" thick drywall:

4d cement coated box nail, or

Any other nail or fastener with ICBO approval may also be used. (Fire resistive

After gypsum wallboard has been installed, finish all joints and nail heads using the Perf-A-Tape joint system as recommended by the US Gypsum Company. Perf-A-Tape system to be installed according to the manufacturer's recommendations. Finishes per finish Schedule C. Hardwood Flooring

All subfloors are to be broom cleaned and covered with deadening felt before the finished floor is laid.Wood flooring, where scheduled, is to be 1 x 2 1/4 single nailing system, the nails should bespaced 7" on center on the ceilings laid evenly and blind nailed or stapled every 16-inches without tool marks. No tongue-in-groove and end-matched select red oak flooring. Flooring is to be Shorts. Owner to be provided with stain sample pieces.

1. All exterior paint shall be nonchalking and shall be guaranteed not to stain or otherwise discolor any adjacent work. All materials shall be used only as specified by the manufacturer. All knots and sap spots shall be treated with

a. Priming: Prime all exterior work which has not been primed by the manufacturer. Prime exterior trim with an approved trim primer before installation. All primer is to be of the same manufacturer as that of the

©. Interior woodwork: Paint all Paint grade interior woodwork with one coat of enamel undercoating and one coat of semigloss enamel. Paint all Stain grade interior woodwork with two coats of clear urethane eggshell or low luster finish. Decking at rear to be stained. d. Walls and ceilings: All walls and ceilings, except in the bathrooms and kitchen, shall be painted with two coats of flat wall paint. The walls and ceilings in the bathrooms and kitchen and laundry room shall be painted with two coats of Low luster enamel wallpaint. See finish schedule for particulars. Verify all colors/finishes with owners before proceeding. l. Staining

1. Interior Stain colors approved by owners.

a. All interior wood work to recieve stain is to be pre-sealed with a wood conditioner so that the stain covers the woodwork uniformly. 2. Areas of Indoor Staining

a. All wood work in living room, dining room, kitchen, Loft and Entry. b. Cabinets and shelves as directed

C. All Wood Floors. d. Stair way steps and landings.

J. Ceramic Tile and Stone

All ceramic tile and stone tiles shall be standard grade of approved quality. The contractor shall submit samples to the owner for approval as to color and texture. Provide a cash allowance of \$5.00 per S.F. This allowance covers the net cost to the contractor and does not include any labor, overhead, or profit. Tile shall be selected by the owner but will be purchased by the contractor where directed. The net difference in cost, if any, shall be added to or deducted from the contract as the case may be. See tile and stone schedule.

1. Wall tile shall be 4 x 4 or 6x6 in size, u.o.n. Setting shall be by conventional tile adhesive over mortar base on waterproof gypsum board.. All cove, bullnose, and trim pieces shall be furnished and neatly finished to drywall

construction according to the drawings. 2. Floor tile shall be unglazed, 12" x 12" . See Schedule 3. Provide one recessed tiled niche in all tubs and showers, size and location

as directed by owner. \mathcal{A}_{\circ} Installation: Lay out ceramic tiles on floors and walls so that no tiles less than one-half size occur. Maintain full courses to produce nearest obtainable heights as shown on drawings without cutting the tile. Align joints in the wall and trim vertically and horizontally without staggered joints. All Tiles on

mortar base Add accent tiles on exterior and interior as directed by owner. Owner to purchase contractor to install. 4. Ceramic tiles in showers to 6'-8" U.O N.

DIVISION 12: ELECTRICAL

A. Work Included In general, the electrical work includes, but shall not be limited by the

followina:

- 1. Service entrance
- 2. Service panel.
- 3. Wiring. 4. Electrical Service & telephone Service from utility pole to be
- underground.
- 5 . Special outlets.
- $\ensuremath{\mathfrak{G}}_{\circ}$ All cutting and patching for installation of the work.
- $\mathbb{7}$. Installation of Telephones, Data, and T.Y. outlets as shown on drawings.
- 8. Installation of hardwired security system. Provide two security panels where directed by owners. Provide power where directed by
- B. General Requirements
- The complete installation shall be made in a neat, workmanlike manner in conformance with best modern trade practices, by competent, experienced electricians and to the full satisfaction and approval of the architect. All work shall be in accordance with local, state, or federal requirements, and shall comply with all applicable codes
- C. Guarantee The contractor guarantees that:
- 1. All work executed under this contract will be free from defects of material and workmanship for a period of one year from the date of acceptance by the owner.
- 2. The contractor, at his expense, will repair and replace all such electrical work and all other work or damage thereby, which becomes
- defective during the period of the guarantee. D. Guide Specifications
- 1. Service supplied to the structure shall be a wire, 116/230 volts, 60-cycle, single phase.
- 2. Service panel shall have a 200-ampere capacity, with automatic circuit breakers. The service panel shall be flush mounting with a
- flush door and shall accommodate 30 circuits. 3. Wiring: All circuit wiring is to be copper 12-gauge or larger, Type TW for general use.
- 4. Boxes: Outlet boxes and junction boxes are to be galvanized steel approved for proposed use and of a suitable size to accommodate the requirements of the fixture, wiring device, or equipment, and the wiring connections.
- $\mathbf{5}_{\circ}$ Switches and outlets: Dimmer switches-Leviton Decora slide, with night light feature. Verify all locations with owners. All other switches and outlets-Leviton Decora to match above. Outlets and Switches and lighting fixtures to be mounted in metal or approved
- boxes All incandescent lights to be on dimmers, Slide type . 6. Wire: All outlets to be 12 Ga. wire. All others per code. All wire coppe
- \mathbb{Z} . Location of outlets: Outlets, as shown, are in approximate locations. These must be checked on the job for possible conflicts with other trades or built-ins. Convenience outlets shall be 16 inches to center from the finished floor, unless otherwise noted. 8. Grounding: The complete electrical system will maintain a solid ground, in accordance with the National Electrical Code.

E. Special Outlets

The contractor shall furnish and install receptacles, and switches as required, for the following special outlets:

- 2. Electric oven microwave combo in kitchen.
- 3. Electric Dishwasher and Disposals.
- 4. Gas dryer and electric washer in Laundry.
- 5. Furnace control switch at Attic. Outlets for fans for heat delivery system as directed by Heating Contractor.
- 6. All electric exhaust fans
- 7. Smoke detectors: Install smoke detectors in all existing sleeping rooms and their access hallways per Section 310(a) UBC. AC/DC interconnected
- F.Telephone Outlet
- Furnish and install telephone wiring with outlets as shown on drawings.
- G. Exhaust Fan
- Furnish and install exhaust hood and fan in the kitchen as indicated on drawings. Exhaust fans in bathrooms as shown H. Signal Chimes
- install chimes with electric connection to approved transformer and
- light circuit. Provide an outside push button at front door. Owner to
- Provide Chimes. I. Lighting Fixtures
- The contractor shall furnish and install all electrical fixtures according to legends and schedules.
- J. Additional Electrical Notes
- 1. All receptacles, per 1991 N.E.C.shall be ground fault circuit interrupters for dwelling units when installed:
- a) within 6'-0" of kitchen sinks...1991 N.E.C. 210-8 (a)5
- b) Bathroom Outlets.1991 N.E.C. 210-8 (a)1 c) All Garage Outlets...1991 N.E.C. 210-8 (a)2- Exception-ceiling
- d) all outdoor outlets...1991 N.E.C. 210-8 (a)3 e) all light fixtures within 5'-0" of Whirlpool baths or spa.. 1991 N.E.C.
- 680-41 (Ь) f)Generally: bath houses, crawl spaces, at least one in unfinished
- basements per N.E.C. 210-8 2. General purpose lighting fixtures in kitchen and bathrooms shall have an efficiency of at least 40 lumens/watt-C.E.C. 24. and 150 (k) 3. All recessed fixtures in ceilings that are required to be insulated
- must be I. C. type fixtures.
- 4. Closet lights to conform to N.E.C. S-410-8
- 5. Provide the following outlets per N.E.C.
- a) 4'-0"c.c. all kitchen countertops...1991 N.E.C. 210-52 (a)
- b) 12'-0"c.c. all other rooms...1991 N.E.C. 210-52 (c) c) Exterior, outlet front and back...1991 N.E.C. 210-52
- d) Bathroom G.F.I. at each basin
- 6. Provide a switch operated light fixture in Hot Water and Furnace
- areas per N.E.C. S-210-70(c). Provide one receptacle outlet for furnace per N.E.C. $\mathbb{7}$. Spas and whirlpool tubs installed per U.P.C. 912 and N.E.C. 680
- (a)
- Installation:
- A. Properly label panel directory
- \mathbb{B}_{\circ} All work shall conform with the requirements of the current edition of the National Electrical code and Electric safety. Terminal hookup
- is required for all fixtures, appliances, motors, fans and controls.
- \mathbb{C}_{\circ} Verify all locations of electrical outlets and lights and switches
- with owner before installation.

1" water main for irrigation system. directly to cold water line of Kitchen faucette. UPC 410.7

2. Includes

4. Materials:

shall be Cast Iron.

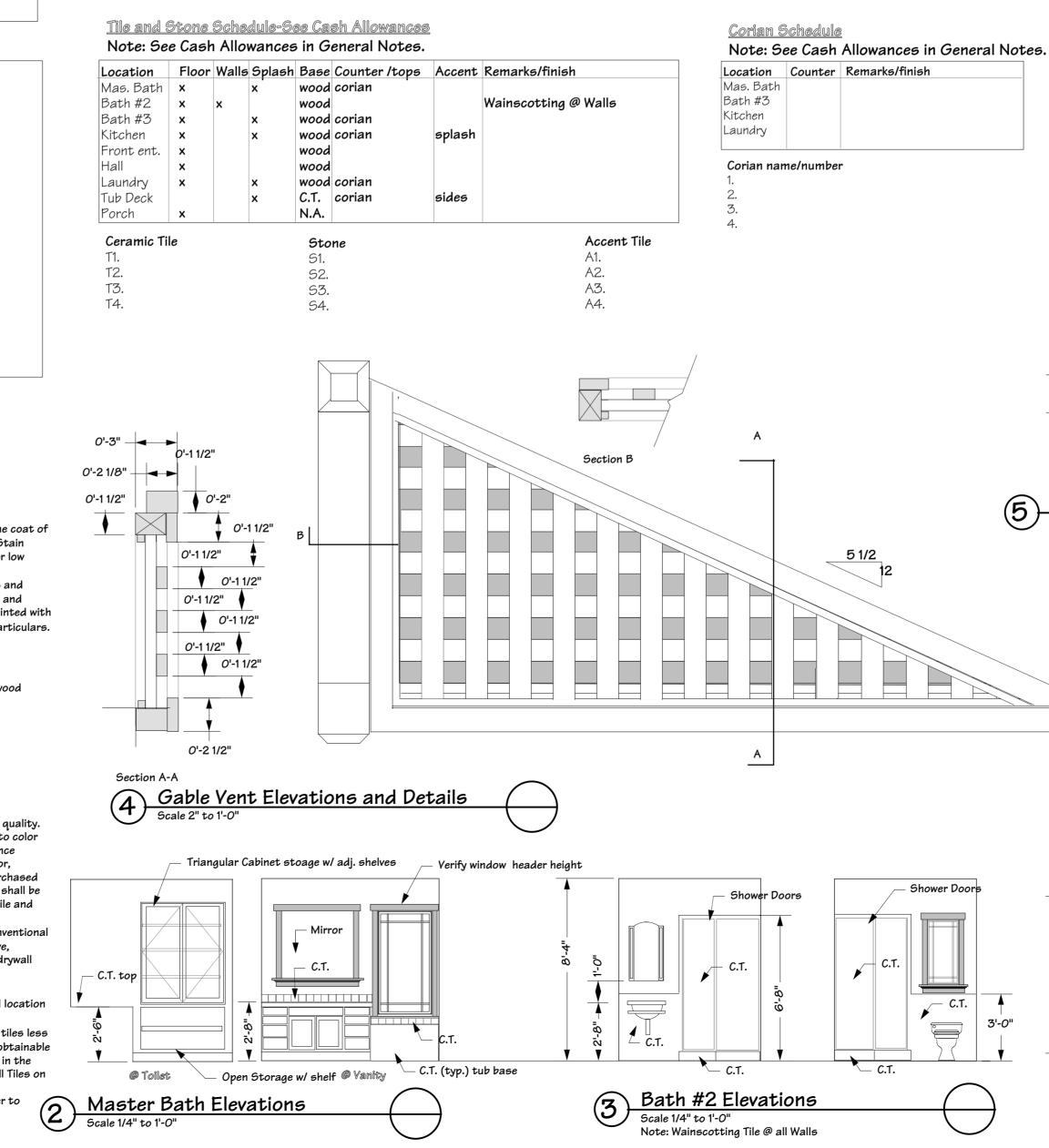
C. Interior Water Piping

D. Fixtures:See schedules

E. Other

B. Vent Piping

- 5. Strap water heater as detailed and provide P.T piping to exterior. U.P.C. 510.5 6. Provide insulated recirculating hot water system for entire house to supply hot water on demand.
- \mathbb{Z}_{\circ} Provide fuel gas piping per U.P.C. chapter 12 for furnace and hot water. Relocate Gas meter as shown on plans
- \mathcal{B}_{\circ} . Vent stacks to terminate 10'-0" from second story windows or operable skylights. Where possible join vents together to minimize roof penetrations. 9. Water closet to have a min. clear stall space of 30" and a min. clear space of 24"
- in front.
- 10. Showers to have a minimum area of 1024 S.I. and a minimum clear horizontal dimension of 30". Water resistant gyp. bd. (all edges sealed), or approved equal
- 12. Water heater shall be insulated as per CEC.
- 13. No notching of 2x4 Studs for Plumbing work.



1. Exhaust fan over kitchen range and gas range.

1. All provisions of the General and Special Conditions apply

A. Design and install a complete and operational system based on Architect's schematic design. This will include a new 1" copper water main connected to city system. All work shall be in accordance with local, state or federal requirements, and shall comply with all applicable codes. Design and install 60 gallon hot water heater with insulated recirculating hot water system to all end use points. B. Remove all existing galvanized water delivery pipes, galvanized soil pipes and dispose of. All serviceable cast iron soil pipes to remain.

 \mathbb{C} . Gas, water, soil waste and venting systems.

 \mathbb{D}_{\circ} Final hookup of all appliances, fixtures etc.

E. The contractor shall obtain and pay for all permits and certificates of inspection if any are required for the plumbing.

A. Sanitary Drainage System

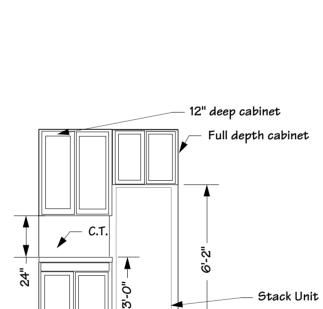
 ${
m l}_{\circ}$ Sanitary drainage piping, buried, shall be Cast Iron, with corresponding cast iron soil pipe fittings. Re-connect to existing 4" soil pipe. 2. Waste piping shall be uniformly pitched in the direction of the flow. Main drains

3. Cleanouts shall be provided and installed as required by code.

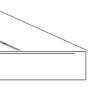
1. Vent piping shall be installed, connected to fixtures and drainage piping indicated. 2. Vents shall be extended through the roof to a height of approximately 12 inches above the roof deck. Vents shall be provided with approved flashing hub or cap.

 ${
m I}_{
m s}$ All inside water piping shall be of standard drawn Type L copper except that exposed branches and exposed piping to fixtures shall be chrome brass. 2. All joints in copper tubing shall be sweat type. Soldered joints shall be lead free type, thoroughly cleaned with steel wool and approved, oil-free, soldering paste. 3. All water piping shall be properly and adequately supported on hangers spaced not over eight (8) feet apart.

- [®]Provide adequet sleeves under all walkways, driveways etc. as directed by landscape designer or owner for all outdoor electrical and irrigation systems. 2. Contractor to install reduced pressure back flow preventer by Watts or Febco @
- 3. Water line for refrigerator icemaker. Note, provide connection and shut-off for icemaker at output line of Water purification device. Cold water output to connect
- 4. Include Individual pressure valve and tempering valve for all showers and tubs per
- required behind finish material to a height of 70" above drain. 11. Water heater shall be strapped for seismic load. See detail.







Heating and Ventilation Notes

- 1. All provisions of the General and Special Conditions apply 2. Includes:
- A. Design and install a complete and operational gas-fired hot air heating system.All work shall be in accordance with local, state or federal
- requirements, and shall comply with all applicable codes. \mathbb{B}_{\circ} Design a radiant warm floor system for the master bath tile floor.
- 3. Excludes:
- \mathbb{A}_{\circ} Electrical hookup by electrical contractor.
- 4. Materials:
- A. Heating Plant:
- B. Ducts:
- \mathbb{C}_{\circ} Registers: All floor mount- wood grills to match flooring-flush mounted, metal grills for carpeted areas. Toe-kick space registers from under counters, laundry ,baths and kitchen.
- \mathbb{D}_{\circ} . Thermostat: Double setback type Automatic controls.
- E. Cold Air return: Locate on site w/ Architect.
- \mathbb{F}_{\circ} Duct Insulation: As required by code.
- *G*. Filters: Furnish and install electrostatic dust remover.
- 5. Application:
- \mathbb{A}_{\circ} Ductwork sized and constructed as per ASHRAE. All cutting and patching for installation
- B. System designed and constructed to give a balanced temperature in each room of 72 degrees Farenheit with balancing dampers on all branches. C. Furnish and install new horizontal downflow/Upflow gas-fired furnace
- complete with fan and limit control. Furnace and burner. The furnace shall be Bryant Model #36CAV-048096 Furnace shall have an AGA output rating of 75.000 Btuh, AFUE 80%. Provide Carrier Model 31-KAX016 Electrostatic Filter, complete with all items necessary to complete the system.
- \mathbb{D} . Clothes dryer duct shall terminate outside the building and be equipted with a back draft damper. Dryer duct shall not exceed a total of 14 feet including two 90 degree elbows. U.M.C. 504.3 Duct to terminate 3' from openings. U.M.C. 609.10 #3. Make-up air per U.M.C. 908.2
- \mathbb{E} . Provide metal pan w/ drain to exterior under washer/dryer unit.
- \mathbb{F}_{\circ} In furnace room and Hot Water Heater area, provide vents in top and bottom to provide combustion air per U.M.C. 707.2. Provide 1 sq. in. per 4000 B.T.U.'s
- G_{\circ} . Toilet room exhaust fan vent termination shall be 3' from openable windows, openable skylights and doors. -S 1205 (c)
- F. Mechanical Ventilation
- 1. Bathrooms, laundry rooms with or without operable windows shall be mechanically ventilated.

Spiral Stairway design shall be per Sec. 1006 U.B.C.

Here's a summary of the requirements of Chapter 10, Section 1006:

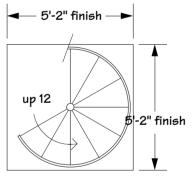
1. Minimum width - 26" from outer edge of supporting column to inner edge of handrail 2. Maximum rise - 9 1/2". Minimum rise - 4". Minimum run - 7 1/2" measured

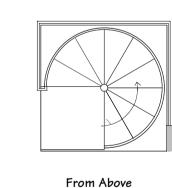
- at a point 12" from narrowest point of tread.
- 3. Handrail must be between 34" and 38" above nosing of treads. 4. Minimum headroom clearance - 6'-6", measured vertically from the plane

of tread nosings to soffit above. 5. Guardrail height - 36". Guardrails shall be built to resist 20 pounds per lineal foot horizontal force at the top of rail. Grip portion of the handrails to conform to UBC 1006.9

6. Intermediate rails placed so that a sphere 4" in diameter cannot pass through

7. Maximum space served- 400 s.f.





At Lower Floor



Stair Specifications: 1. Stairwork shall be as follows:

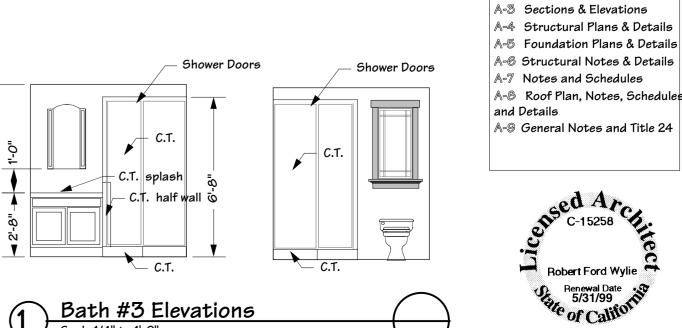
The Stair is a 12 riser, Right hand up, metal stair with a square landing and a 36" rail around the opening at the top as shown. The finished well opening for the stair itself, is to be a minimum of 5'-2"x5'-2", meaning rough framing is 5'-3 1/4"x5'-3 1/4" to allow for gypsum board finish. The stair is to be fabricated by the Iron Shop, and is to be a Metal stair meeting UBC requirements. The Kit contains, Center pole, round base flange, treads, landing landing railing spindles, and provide the optional 11/4" brass handrail and second floor guardrail, and all hardware. Provide the optional 1 1/16" Red Oak treads, and landing. Verify all dimensions with manufacturer before ordering. Stair comes primed ready for paint. Owner to approve of final color of stair. Paint with low luster enamel paint.

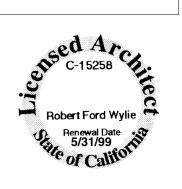
Drawing List

Elevations

A-1 First Fl. Plan & Notes

A-2 Second Fl. Plans & Interior



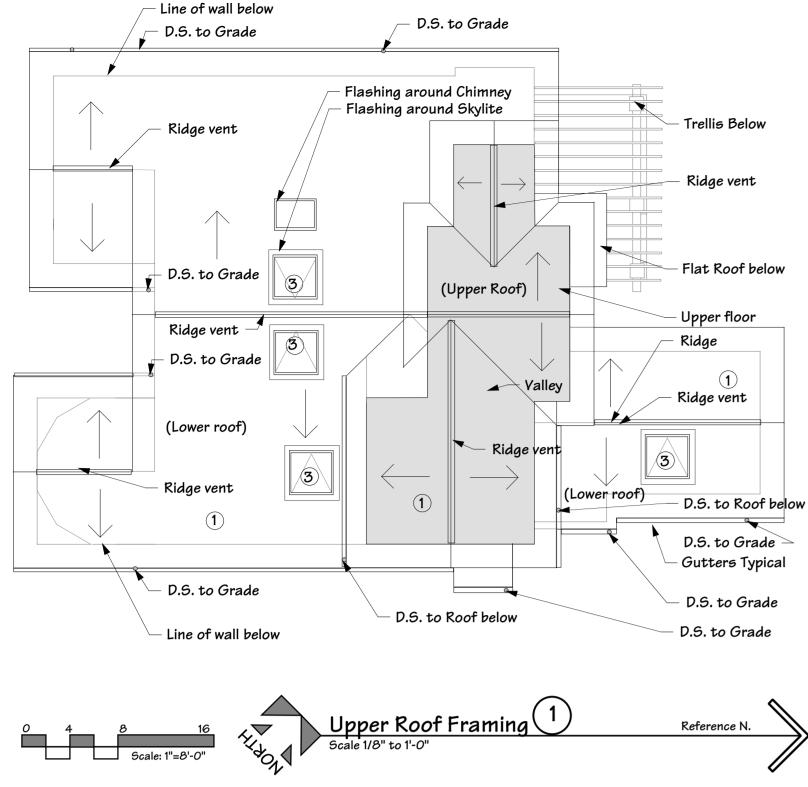






5

 \checkmark



Roofing Schedule

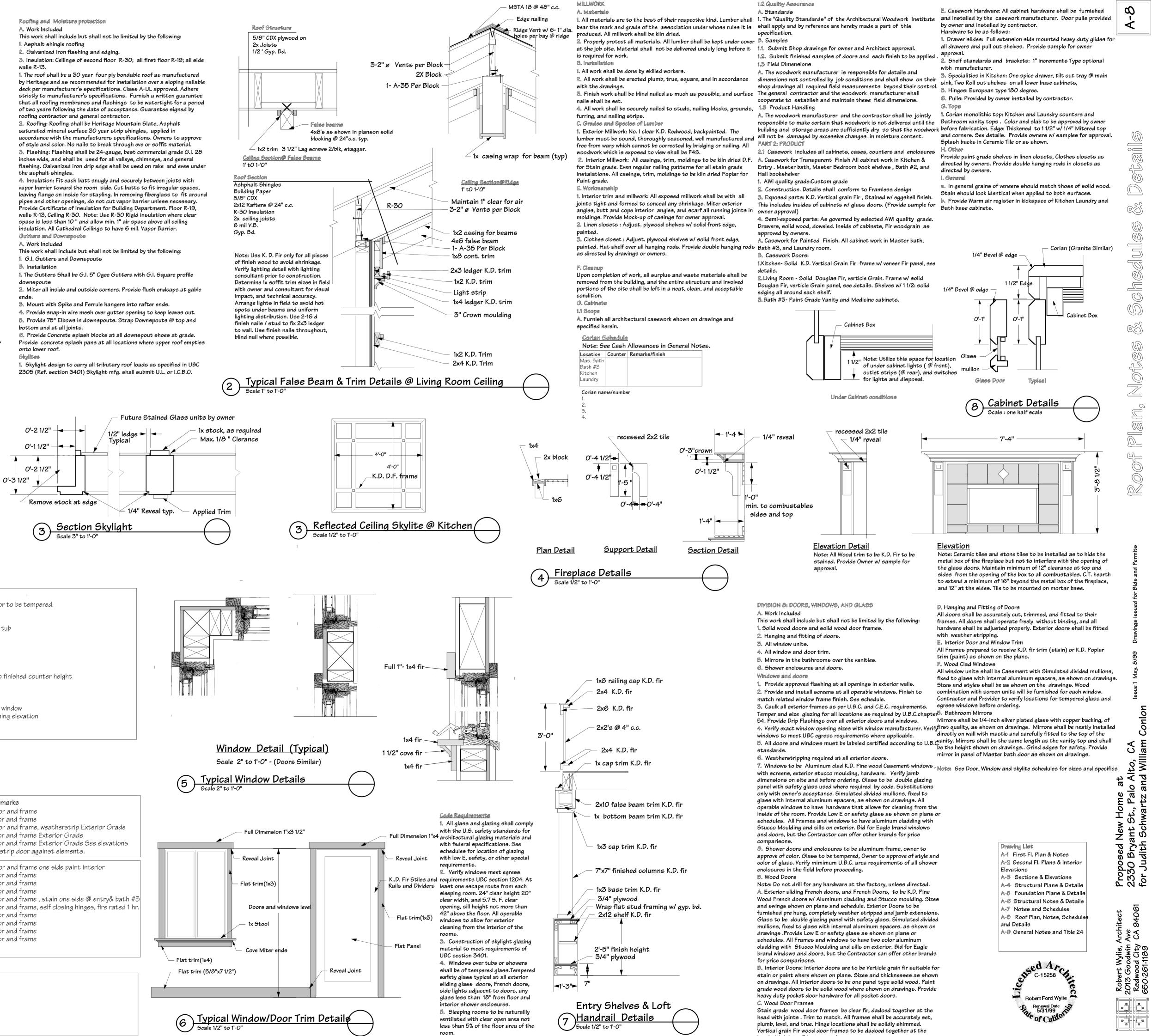
No. Location (1) Typical	Manufacturer Heritage	Product M-30		Remarks Class A U.L. Approved-all roofs Provide samples for owner approval
3 Skylites	Velux	VS 606	44 3/4x 46 1/2	See below

Skylites by Velux....I.C.B.O. # Ner216

Install all skylites conforming to manufacturer's instructions exactly. All skylites to have building paper flashing under the Velux flashing system per manufacturer's instructions. Glazing to be Tempered over Laminated. Provide 310 Electric control systems for automatic opening and control of ventilation units and all venitian blinds for the VS 606 units. No vents or exhausts within 10'-0" of opening skylite. Double all rafters @ skylite openings. Provide blinds for All skylites except the one in the garage. Note: Paint all exposed sheet metal vents, jacks and flashing to match roof. Jacks not shown.

ends.

bottom and at all joints.



Window Schedule

Exterior Door Schedule

N <i>o</i> .	Nominal size	Туре	Model	Glazing	Finish	Remarks	
W1	7/6x4/6	Casement		Double - low E 1 unit Tempered	Paint	Note: window closest to patio door to be tempered.	
W2	2/6x4/0	Casement		Double - low E	Paint	I I	
W3	1/8x3/6	Casement		Double - Iow E	Paint		
W4	2/6x4/6	Casement		Double - low E Tempered	Paint	Verify location above Tile deck for tub	
W5	5/0x4/0	Casement		Double - low E Tempered	Paint		
W6	1/6x4/0	Casement		Double - low E Tempered	Paint		
W7	5/0x4/0	Casement		Double - low E Tempered	Paint		
NB	2/6x4/0	Casement		Double - low E Tempered	Stain		
N9	5/0x4/0	Casement		Double - low E	Paint		
<i>N10</i>	4/0x4/0	Casement		Double - Iow E	Paint	Flush out bottom of window sill to finished counter height	
V 11	2/6x6/0	Casement		Double - low E Tempered	Paint	all windows operable	
W12	1/8x3/0	Casement		Double - low E	Paint	1	
W13	2/6x4/0	Casement		Double - Iow E	Stain		
W14	2/6x3/6	Casement		Double - Iow E	Paint	Egress Hardware required on one window	
W15	3/0x3/0	Casement		Double - Iow E	Stain	diamond shaped window, see framing elevation	

Note: All stain grade windows with Bronze frame screens and hardware(stain grade) hardware. Factory prime exterior for paint. See Plan/Notes For Hinging, and for fixed. Verify all rough openings with Manufacturer.

Note: All Paint grade windows with white frame screens and hardware. Factory prime exterior for paint. See Plan/Notes For Hinging, and for fixed. Verify all rough openings with Manufacturer.

/10 Living Roc /10 Laundry /8 Entry /er. Ext. Close /8 Car Door chedule /8 Master B	Swing French Swing Panel t Swing Pair, Solid Core Swing Panel Pair R. Swing Panel	Double-Temp.TDL Double- Temp.TDL Double- Temp.TDL none single- Temp.TDL	Eagle Eagle Omega Too special special	6 lite	Stain door and frame Paint door and frame Stain door and frame, weatherstrip Exterior Grade Paint door and frame Exterior Grade Paint door and frame Exterior Grade See elevations Weather strip door against elements.
/8 Entry ver. Ext. Close /8 Car Door chedule /8 Master B	Swing Panel t Swing Pair, Solid Core Swing Panel Pair R. Swing Panel	Double- Temp.TDL none single- Temp.TDL	Omega Too special	6 lite	Stain door and frame, weatherstrip Exterior Grade Paint door and frame Exterior Grade Paint door and frame Exterior Grade See elevations
/er. Ext. Close /8 Car Door chedule /8 Master B	t Swing Pair, Solid Core Swing Panel Pair R. Swing Panel	e none single-Temp.TDL	special	6 lite	Paint door and frame Exterior Grade Paint door and frame Exterior Grade See elevations
/8 Car Door chedule /8 Master B	Swing Panel Pair R. Swing Panel	single- Temp.TDL	1		Paint door and frame Exterior Grade Paint door and frame Exterior Grade See elevations
chedule /8 Master B	R. Swing Panel		special		
/8 Master B	5	none			Weather strip door against elements.
/8 Master B	5	none			
	5	none			
	Parlink Paral				Stain door and frame one side paint interior
18 Various	Pocket Panel	none			Paint door and frame
18 Various	Bifold Panel	none			Paint door and frame
18 Various	Swing Panel	none			Paint door and frame
18 Various	Pocket Panel	none			Paint door and frame , stain one side @ entry& bath #3
18 Garage	Swing Solid Core	none			Paint door and frame, self closing hinges, fire rated 1 hr
/8 Hall	Swing Panel	none			Paint door and frame
8 Gar. Cl.	Swing Panel	none			Paint door and frame
10 22400	oset Bifold Panel	none			Paint door and frame
10 D.K.#2 (10	P P .'	none			Paint door and frame
5/	6/8 Gar. Cl. 6/8 B.R.#2 Clo	6/8 Gar. Cl. Swing Panel 6/8 B.R.#2 Closet Bifold Panel	6/8 Gar. Cl. Swing Panel none 6/8 B.R.#2 Closet Bifold Panel none	6/8 Gar. Cl. Swing Panel none	6/8 Gar. Cl. Swing Panel none 6/8 B.R.#2 Closet Bifold Panel none

Door Hardware Schedu	ile No	ote: See Cash Allowances in G	eneral Notes.
Door	Туре	Manufacturer	Finish/Remarks
C Front entry door			
B-Side entry door			
A-Rear sliding Door		Eagle	Included
D-Exterior Closet			
E-Garage			
Interior Doors			

head with joints. Trim to match.

Specifications

Division 1: General Requirements

<u>A. General Notes</u>

LContract to be signed on AIA form A105 "Owner-Contractor Agreement--Small Projects Edition.", with AIA document A-205 "General Conditiona of the Contract for Construction of a Small Project" and are hereby made a part of these plans and specifications.

2. The contractor shall visit the site and become familiar with all conditions prior to submitting their proposal. Contractor and/or sub-contractors shall verify all dimensions and conditions shown on these drawings with those at the site. Any variation which requires physical change shall be brought to the attention of the Owner and Architect. 3. All reasonably referred or inferred items shall be performed, as if specifically defined, to the

satisfaction of the Architect. 4. Engineers Specifications take precedence over the following architectural specifications, if

applicable.

5. Trade names and manufacturers referred to are for quality standards only. Specifications

changes will be permitted as approved by the Owner and Architect. 6. The contractor shall be responsible for the satisfactory completion of all work in

accordance with the project plans and specifications.

 \mathbb{Z} . Vaulted ceilings shall be provided with a vapor barrier beneath the insulation.

💩 Water heater shall be strapped for seismic load. See detail.

9. Water heater shall be insulated as per CEC. 10. Contractor to provide Owners with waivers of lien from all subcontractors of labor and/or

materials, prior to payment.

B. Temporary Conveniences

1. The general contractor shall provide suitable temporary conveniences for the use of all workers on this job. Facilities shall be within a weather tight, painted enclosure complying with legal requirements.The general contractor shall maintain all temporary toilet facilities in a sanitary condition.

C. Insurance, Safety, And Protection

1. The Contractor alone is responsible for job site safety. On site observation of the Construction by the Architect is to determine conformance with the plans and specifications. It does not encompass safety procedures or operations. The Work shall be protected by a 6 foot high lockable fence for the duration of the work. Fence shall secure work area of project. Provide 2 keys to owners and 1 keys to Architect.

2. All existing plantings, fences, and like items Shown on the Drawings, that are to remain shall 3401) Skylight mfg. shall submit U.L. or I.C.B.O. be protected from damage or if damaged, shall be restored or replaced to the condition existing before the damage occurred. Verify with owners which plants to remain or to be protected. Contractor to provide owner with on site water at all times to irrigate exist. plants.

This will be done by the owners or their gardener. 3. The contractor shall be responsible for damage due to bad weather and shall make all corrections to this damage at no added cost to the architect or owner.

4. The general contractor shall protect all existing driveways, parking areas, sidewalks, curbs, and existing paved areas on, or adjacent to, the owner's property. The contractor shall replace all damaged property to the state that existed before the damage.

5. The contractor shall carry Builders Insurance to cover the cost of this work and all coverage as defined in Article 11 of the general conditions, or as required by the City of Palo Alto. The owner and City shall be presented with certificate of Contractor's insurance and Workman's compensation insurance prior to commencing work. Present Owner with a copy of current Contractor's Liscense.

<u>D . Pumping</u>

 \mathbb{I} . The general contractor shall keep the excavation free from water at all times and shall provide, maintain, and operate at his own expense such pumping equipment as shall be necessarv

<u>E. Grades, Lines, Levels, And Surveys</u>

The owner shall establish the lot lines if required by city.

The general contractor shall: 1. Establish and maintain bench marks.

2. Verify all grades, lines, levels, and dimensions as shown on the drawings, and report any errors or inconsistencies before commencing work. Verify the location of the Garage and whatever grade changes are necessary to arrive at existing sidewalk height and provide proper drainage from driveway and sidewalks. 3. Lay out the building accurately.

F. Final Cleaning

1. The contractor shall maintain the site clear of trash and debris. All waste materials shall be 🛛 🕮 Check site survey for errors and notify Architect of necessary corrections removed from the site prior to substantial completion and final acceptance.The contractor shall present the building to the owner for acceptance, clean and ready for occupancy. All glass 1. Demolish Porches and slabs as required to facilitate construction shall be cleaned , floors swept broom clean, fixtures washed with all labels removed, and exterior hand-raked free of debris.

In addition to the general room cleaning, the general contractor shall do the following special cleaning upon completion of the work:

1. Wash and polish all glass and cabinets.

2. Clean and polish all hardware.

3. Remove all marks, stains, fingerprints, and other soil or dirt from walls, woodwork, and floors. <u>G. Guarantees</u>

The general contractor shall guarantee all work performed under the contract against faulty materials or workmanship. The guarantee shall be in writing. In case of work performed by subcontractors where guarantees are required, the general contractor shall secure written guarantees from those subcontractors. Copies of these guarantees shall be delivered to the owner upon completion of the work. Guarantees shall be signed by both the subcontractor and the general contractor. All Guarentees shall be for the duration of one year from final completion of project, unless otherwise noted.

<u>H. Codes And Workmanship</u>

 $\mathbbm{1}$. All work shall comply to latest editions of state and local codes and ordinances and shall be done to the highest standards of craftsmanship by journeymen of the respective trades. In General, current edition of 1994 U.B.C. to be in effect. <u>I. Ventilation</u>

 ${
m l}_{\circ}\,$ Location of Foundation vents to conform to UBC Section 2516-C. Center vents under

windows where possible or where shown on drawings. 2_{\circ} Provide under roof cross ventilation at the rate of 1/150 of the attic area, per UBC 3505-C

1/300 for cathedral ceilings with vapor barriers.

3. Bathrooms with or without operable windows shall be mechanically ventilated. 4. Sleeping rooms to be naturally ventilated with clear open area not less than 5% of the floor C. Backfill

area of the room.

<u>J. Access</u> 1. Provide 18" min. by 24" min. access to all foundation spaces as per Sec. 2516(c) 2, U.B.C..

Provide 1 access within 20 ' of bathroom and kitchen plumbing. 2. Provide 22" min. by 30" min. access to all attic spaces with 30" clear ht. or more per UBC. Sect. 3205-A. Reuse Existing Attic access in den closet.

<u>K. Fire Protection</u>

1. All garage walls and ceiling common with house of supporting living area above to be 1 hour construction. 5/8 type ;"X" gypsum board minimum. Doors from garage to house to be 1 hour rated with self-closing device and weather stripping.

 $\mathbb{2}_{\circ}$ Provide single station smoke detectors mounted on ceiling in all rooms used for sleeping purposes. Smoke detectors shall receive their primary power from the building wiring. Wiring shall be permanent and without a disconnection switch other than those required for overcurrent protection. Detectors to be interconnected, and integrated into the security

system 3. Provide 6" min. clearance on sides and back of furnace.

4. Top of fireplace chimeys to extend 2 feet min. above any roofing material within 10 feet (measured horizontally) of chimney.

<u>N. Bathrooms</u>

1. Water closet to have a min. clear stall space of 30" and a min. clear space of 24" in front. 2. Showers to have a minimum area of 1024 S.I. and a minimum clear horizontal dimension of 30" measured at a point 7" above the drain. Water resistant gyp. bd. (all edges sealed), or approved equal required behind finish material to a height of 70" above drain. \mathfrak{B}_{\circ} Install tub with full mortar set tile surround.

<u>O. Performance</u>

1. Provide fabricators certificate for Glu-lam beams to building department for review and approval at time of delivery and prior to installation. UBC section 2510 2. All hardwood flooring to be installed in accordance with the latest NOFMA specification and

recommendations. 3. All tile work to be installed in accordance with the latest Tile Council of America

specfications and recommendations 4. All plumbing work shall comply with the UPC latest edition, safety orders of the State of

California and all local codes and ordinances. 5. All heating and ventilation work shall comply with applicable codes and the recommended

practices of SASHRAE & SMACNA 6. All electrical work shall conform to the latest national electrical code and all other codes

and requirements. P. Toxic Materials Removal (if required)

1. All handling and removal of toxic material to be done by a certified toxic waste contractor . Certification to be done by the state of California and registered with the local building official. J. Cash Allowances:

 ${\rm l}{\rm l}$ Provide a cash allowance of \$15.00/sq. ft. average price for ceramic tiles, material only, Contractor to provide all labor and material to install tile in mortar base as indicated on drawings. Provide a cash allowance of \$8.00/sq. ft. for stone tiles, material only. $\mathbb 2$. The contractor shall allow in the proposal the sum of Two thousand five hundred dollars (\$2,500.00) for the purchase of door hardware (does not include cabinet hardware). These allowances cover the net cost to the contractor and does not include any labor, overhead, or

<u> Work Or Purchases Done By Owners</u>

1. For items noted To Be Chosen or T.B.C. Contractor will purchase and install items and purchase price will be added to the bid price at time of clarification. Installation to be accounted for at time of bid.

2. Owners to purchase all wall hung and ceiling hung surface mounted incandescent light fixtures both interior and exterior. Contractor to install.

3. Owner to purchase all light track light fixtures, contractor to install. Owner to purchase all cable mounted halogen accent lights in Living room. Contractor to provide two continuous exposed power source cables, power, transformers, and wall mounting connectors. Contractor to provide continuous strip lighting for cove moulding lighting in Living Room. Provide samples for Owner and Archtect Approval.

4. Owners to pay for plan check and building permits.

 \mathbb{S} . Owners to purchase the following miscellaneous items, and contractor will install. Towel bars and hooks, toilet paper dispensers, kitchen cabinet and bathroom vanity pulls, doorbell, water filter for kitchen.

S. Owners to subcontract or do work themselves for installation of : automatic irrigation system, and low voltage exterior lighting systems for landscaping. Contractor will cooperate with owners during the course of this work.

<u>L. Glazing</u> 1. All glass and glazing shall comply with the U.S. safety standards for architectural glazing materials and with federal specifications. See schedules for location of glazing with low E, safety, or other special requirements. Any Glazing subject to impact or within 24" of an exterior doorway to be tempered.

 \mathbb{Z}_{\circ} Verify windows meet egress requirements UBC section 1204. At least one escape route from each sleeping room. 24" clear height 20" clear width, and 5.7 S. F. clear opening, sill height not more than 42" above the floor. All operable windows to allow for exterior cleaning from the interior of the rooms.

 \mathbb{B}_{\circ} Skylight design to carry all tributary roof loads as specified in UBC 2305 (Ref. section

4. Construction of skylight glazing material to meet requirements of UBC section 3401. \mathbb{S}_{\circ} Windows over tubs or showers shall be of tempered glass.Tempered safety glass typical at all exterior sliding glass doors, French doors, side lights adjacent to doors, any glass less than 18" from floor and interior shower enclosures.

L. Change Orders/"As Built" drawings/and Permit sets

Any work requiring a change in cost of construction or time shall be prepared by the contractor and submitted to the Owner and Architect for their approval PRIOR to doing the work. Unapproved change orders cannot be submitted after the work is completed. In this case, the contractor shall bear the full cost of the change and any delays it may create. If changes or clarifications are required in the drawings , the Contractor shall promptly notify the Architect for a request for clarification. The Contractor shall keep two wet signed (by the Architect or Engineer) updated copies as a record set to be included in the Permit set of working drawings, for approval by the Building Inspector. A permit set shall be kept on site at all times in a plastic container for use by the Architect or Building Inspector while visiting the site. These drawings are NOT to be used by the contractor or subcontractors to perform the work. They are to be kept as a record set of the Construction. The contractor shall bear the cost and expenses of delays for any changes made by the Contractor without approvals, if later rejected by the City or Architect or owner.

<u>Division 2- Sitework</u>

A. Sitework Preparation

1. A preconstruction meeting will be held with all concerned parties, to review sitework preparation, construction, and coordination between all subcontractors.

2. All excavation and backfilling required for heating, plumbing, and electrical work will be done by the respective contractors and are not included under site work.

3. Clearly mark underground utilitiy lines, pipe, cable, and conduits.

B. Survey Check

1. Verify locations and provide clear marking of: __Property lines __Setback lines __Easements __Right of way

C. Sitework Demolition

 \mathbb{Z}_{\circ} Clean the area within the limits of the building of all trees, shrubs, or other obstructions as

necessary, or as shown on drawings. C. Plant removal

 ${
m l}$. Within the limits of grading work as shown on the drawings, identify and label existing shrubs

and trees:

____to remain ____to be relocated___to be removed 2. Remove such trees, shrubs, or other obstructions as are indicated on the drawings to be removed, without injury to trunks, interfering branches, and roots of trees to remain.

3. Do cutting and trimming only as directed by owner. 4. Box and protect all trees and shrubs in the construction area to remain; maintain boxing

until finished grading is completed. 5. Remove all debris from the site; do not use it for fill.

C. Soil Preparation and Excavation

1. Carefully remove all sod plants and soil throughout the area of the building and where finish arade levels are changed.

2. Pile on site where directed. This soil is to be used later for finished grading. Do not strip below topsoil. \mathfrak{Z} . Do all excavation required for :

_footings_walls_trenches_Drainage_pits_foundations.

4. Remove all materials encountered in obtaining indicated lines and grades required.

5. Excavate all foundations to levels shown on drawings.

6. The general contractor shall notify the Architect when the excavation is completed so that he may inspect the soil before concrete is placed.

3. Backfill under floor slabs and elsewhere as required to bring the earth to proper levels and

grades for subsequent work. Use only earth without rubbish. All fill shall be well tamped and

4. Unless otherwise directed by the architect, no backfill shall be placed until all walls have

1. Do all excavating, filing and rough grading to bring entire area outside of the building to levels

2. Water collected from roof gutters and downspouts is to be conveyed away from the residence

3. Where existing trees are to remain, if the new grade is lower than the natural grade under the

trees. a sloping mound shall be left under the base of the tree extending out as far as the drip

line of the branches; if the grade is higher, a dry well shall be constructed around the base of

previously stripped area. Prepare the topsoil to receive grass seed by removing stones, debris,

4. After rough grading has been completed and approved, spread the topsoil evenly to the

shown on Details and elevations. Generally slope grade from house at 1/2"/ foot for the first

three feet, 1/4" /foot thereafter. Bring finish grades to level of 6" below top of footing.

via closed conduit and discharged onto concrete splash blocks and away from house.

and unsuitable materials. Hand rake to remove water pockets and irregularities.

 \mathbb{Z} . Protect the bottom of the excavation from the accumulation of debris.

 $\mathbb{1}$. All outside walls shall be backfilled to within 6 inches of the finished grade with clean fill.

developed such strength to resist thrust due to filling operations.

2. Backfill shall be thoroughly puddled and tamped solid.

puddled to prevent settling.

C.Exterior Grading/ Drainage/ Topsoil

5. Seeding will be done by the owner.

See Plot Plan for area limits under contract

the tree to provide the roots with air and moisture.

Documentation A	3	2330 Bryant Palo Alto, CA	A 94301	'n ****** *v4.50*	Date0	1/29/9
		John Hermanns The Architect 810 Bradford	tural Machi	ne	Building Peri Plan Check /	
Climate Zone		Redwood City 415-364-8016 04			Field Check/	Date
Compliance Meth	od l	MICROPAS4 v4		*********	by Enercomp, 1 Sectors NONS	inc.
User#-MP08	365 User-		tural Machi		isting + Additio	on
EXISTI		ION WORKSHEE			ICE	
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