

Site Information

Area of Site: 5,625.0 S.F.
35% of Site: 1968.75 S.F. - Proposed 1735.5 S.F.

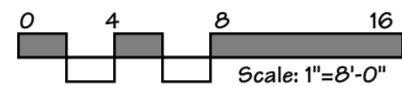
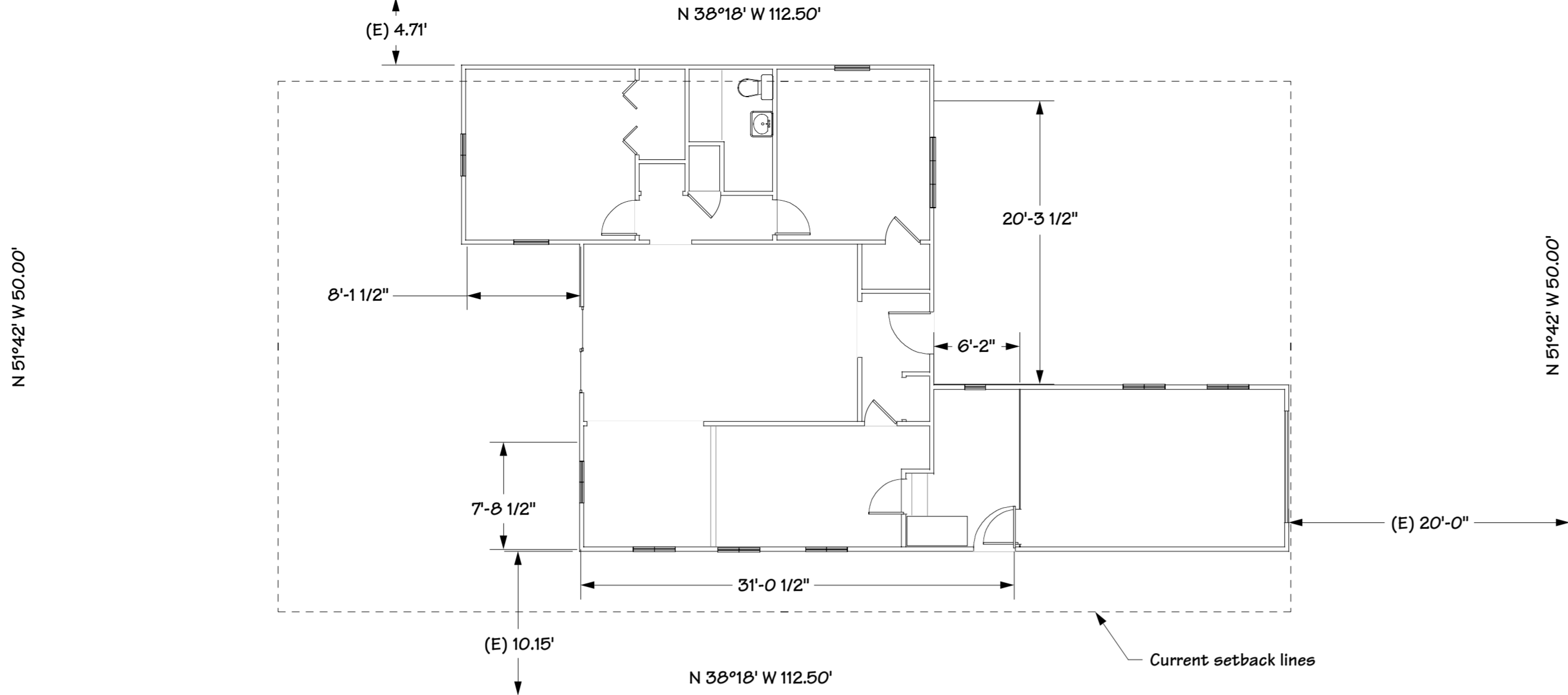
Area of Exist Building : 1,283.0 S.F.
Area of Addition @ Grade : 468.5 S.F.
Perimeter of (E) Bldg.: 189.0 L.F.
Total linear feet removed from (E) Bldg. 73'-4" < 50%

F.A.R. (Allowed)
45% of first 5,000 S.F. of site: 2,250.0 S.F.
30% of 625 S.F.: 187.5 S.F.
Total S.F. of F.A.R. allowed 2,437.5 S.F.
Proposed:
Total Area of house @ Grade 1751.5 S.F.
Area of second floor 386 S.F.
Area of 2nd Floor Roof equivalent 30.5 S.F.
Total Area for F.A.R. 2168.5 S.F.

Area of Front Porch (under 30" from grade) 135.0 S.F.
open on three sides



Location Map
No Scale



Exist. Plan/Setbacks, Showing Exterior Walls Removed
Scale 1/8" to 1'-0"

Demolition Notes-General

- Scope:
The intent of the demolition, is to bring the (E) building down to the (E) studs foundation and floor framing. Then, interior and exterior walls are to be removed as required to do the work. Note: Dimensioned walls are the only exterior walls to be removed. Demolition includes removal and proper disposal of all debris. The following list indicates work to be done for demolition, but not limited to the following items:
1. Remove all (E) windows and doors and all exterior Stucco to grade.
 2. Remove all (E) 1x sheathing and all siding nails.
 3. Remove all (E) interior doors, cabinet work, finishes, plumbing fixtures and water and soil lines, and all electrical wiring and boxes.
 4. Remove all (E) heating ducts, furnace, and registers.
 5. Remove all (E) shingles, gutters and downspouts, roof rafters and (E) ceiling joists as required.
 6. Openings are to be broken into the (E) foundation to allow for access ways and heating duct work.
 7. Demolish exist. garage slab and driveway
 8. Demolish existing porches, patios and foundations as required.
 9. Wrap the trunks of all (E) trees to remain with 2x material to protect the trunks from demolition and the construction process.
 10. Do not stack construction materials, equipment, waste, or excavated material in the area marked "Organic Garden Area"

Toxic Materials Removal (if required)

Contractor to arrange for an inspection of the (E) residence prior to demolition for the existence of any toxic materials, to be done by a certified toxic waste inspector. All handling and removal of toxic material to be done by a certified toxic waste contractor. Certification to be done by the state of California and registered with the local building official.

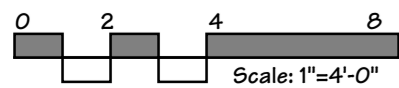
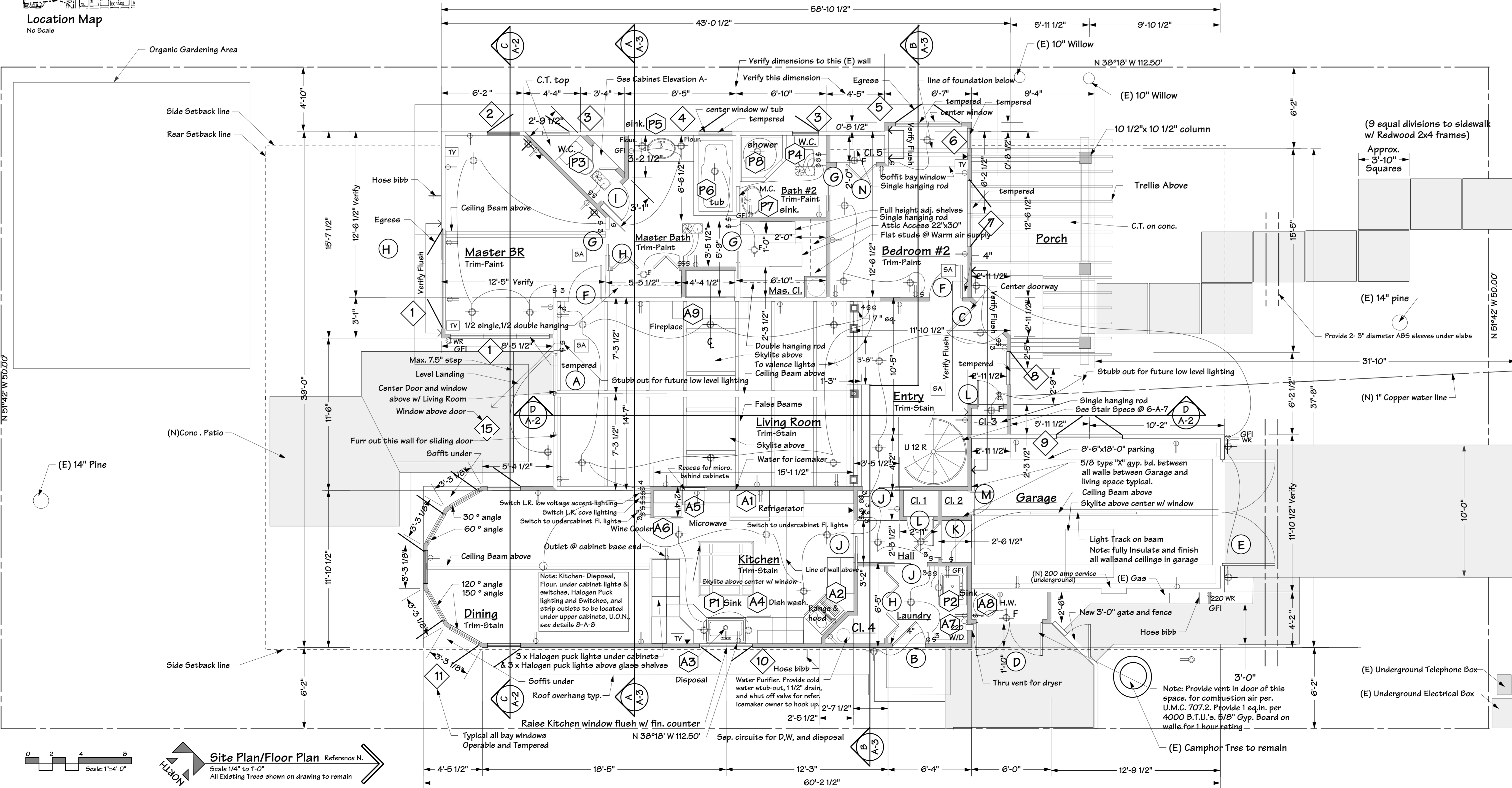
Legend - Switches and Outlets/Misc.

- GFI Ground Fault Interrupter
- Art Recessed wall outlet for artwork locate exactly with owners
- Duplex outlet- locate 6'-0" c.c. 6'-0" max from end of wall space
- 220 220V outlet
- Single Pole switch
- Dim. Single Pole switch - Dimmer
- T Timer Switch
- 3 Three Way Dimmer Switch
- 4 Fourway way -switch
- Telephone
- SA Smoke Alarm
- TV Coaxial Cable
- WR GFI Water Resistant outdoor outlet
- Junction Box
- Data Computer Connections

Legend - Lighting

- H Halo Halogen recessed down lite. w/ White Collex baffle trim
- F Flour. Closet Light Surface mount
- Halo H7T w/ White trim 75 W
- Wall mount light fixture
- Halo H7T w/ White trim wall washer 75 W
- Combo. Fan/light Nutone or equal Owners to approve
- Recessed Incd. Light
- Halo H7T w/ White Collex baffle trim 75 W (Provide sloping trim and cans in cathedral ceilings)
- Flour. Halo H7T w/ White Collex baffle trim Fluor. Light
- Halo L651 (4'), L652 (8'), L653 (12') Light-trac raceways Miniature w/ Live end connectors Bronze finish. Owners to purchase, contractor to install.

Electrical Notes:
◇ Provide CatV LAN Computer Network to locations as shown. Home-run all Locations to Panel in back of closet in Laundry Room.
◇ Provide Stereo Speaker Wire to seven locations as designated by owner. Home-run all wires to mixer box as directed by Owner. Owner to provide in wall speakers, Contractor to install.
◇ Provide hard wired security system to all operable doors, windows, and skylites.
◇ Provide 2" dia. ABS conduit from crawl space to attic in duct chase for future communications needs.
◇ Provide Coaxial cable to attic for future Owner installed T.V. antennae.
Home-run all T.V. coaxial Locations to Panel in back of closet in Laundry Room.

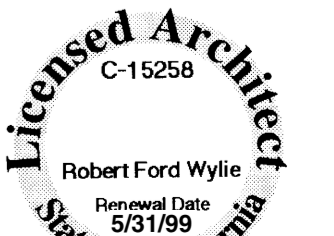


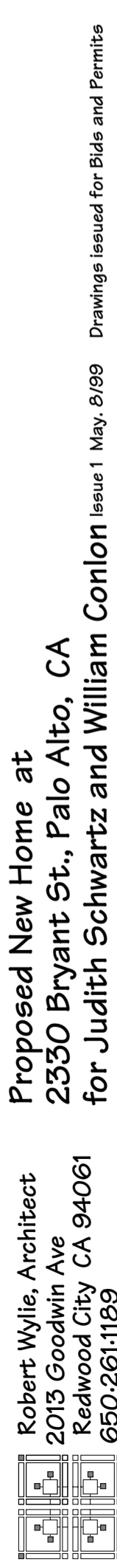
Site Plan/Floor Plan
Scale 1/4" to 1'-0"
All Existing Trees shown on drawing to remain

Note: Site Plan information based on site survey prepared by A.C. & H Civil Engineers Lic. #18925, Drawing 98-206, 12/98

Drawing List

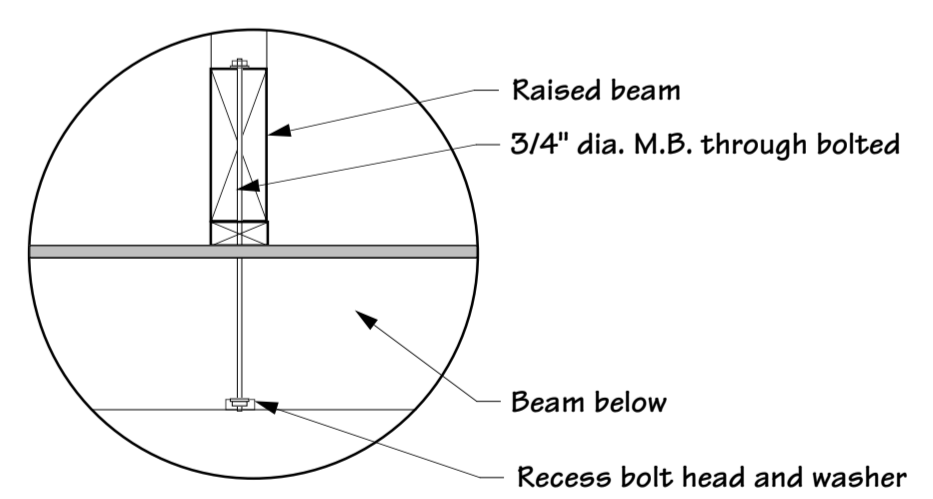
A-1	First Fl. Plan & Notes
A-2	Second Fl. Plans & Interior Elevations
A-3	Sections & Elevations
A-4	Structural Plans & Details
A-5	Foundation Plans & Details
A-6	Structural Notes & Details
A-7	Notes and Schedules
A-8	Roof Plan, Notes, Schedules and Details
A-9	General Notes and Title 24



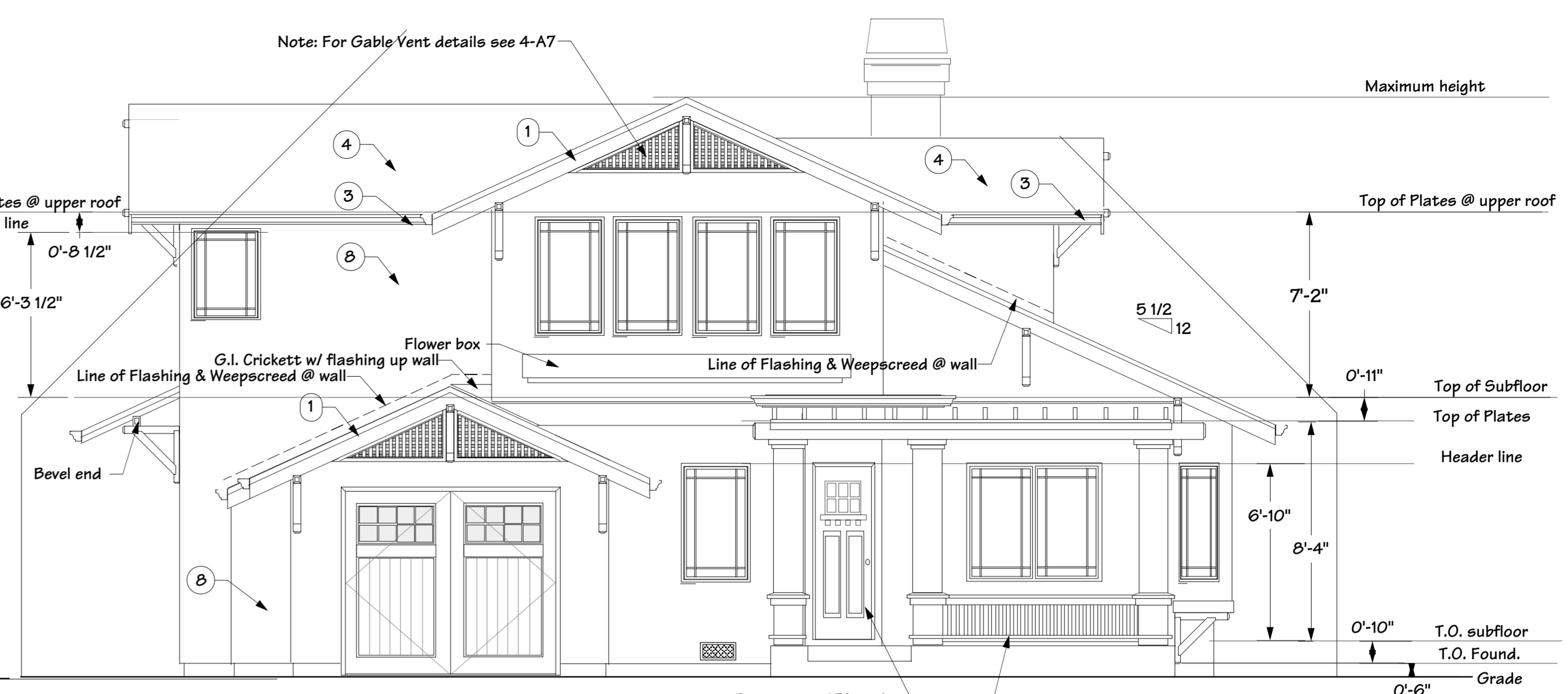


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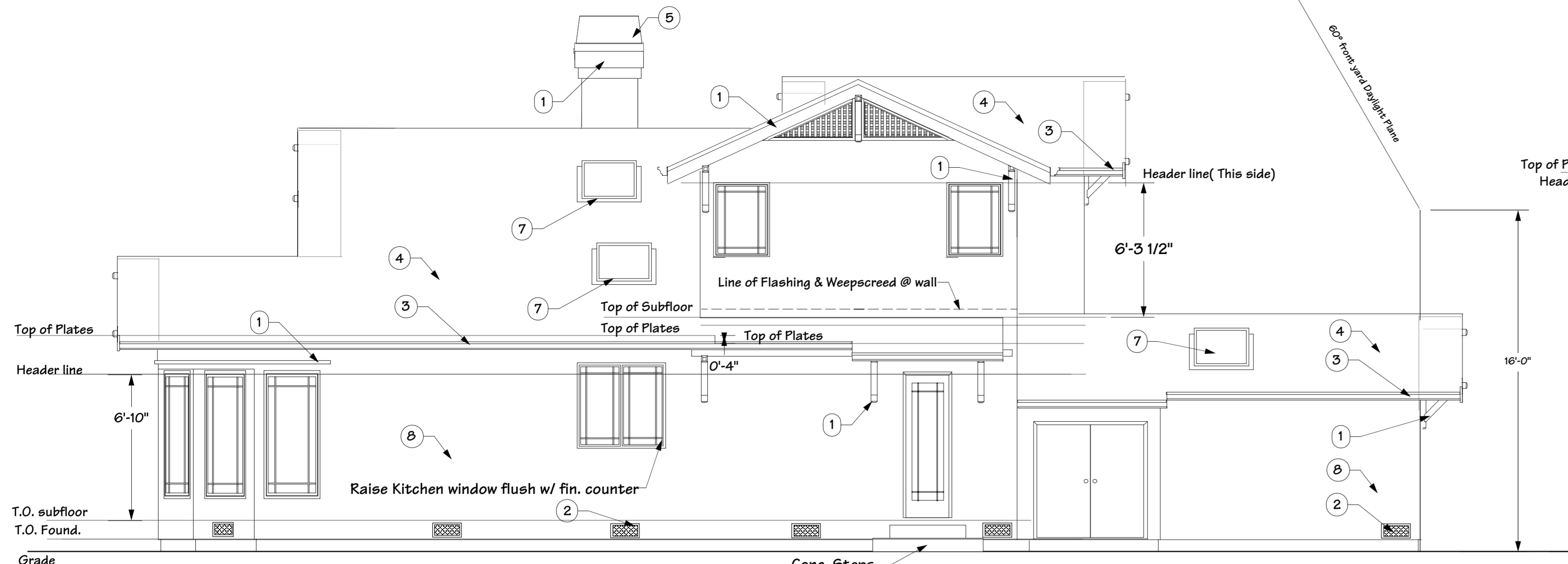
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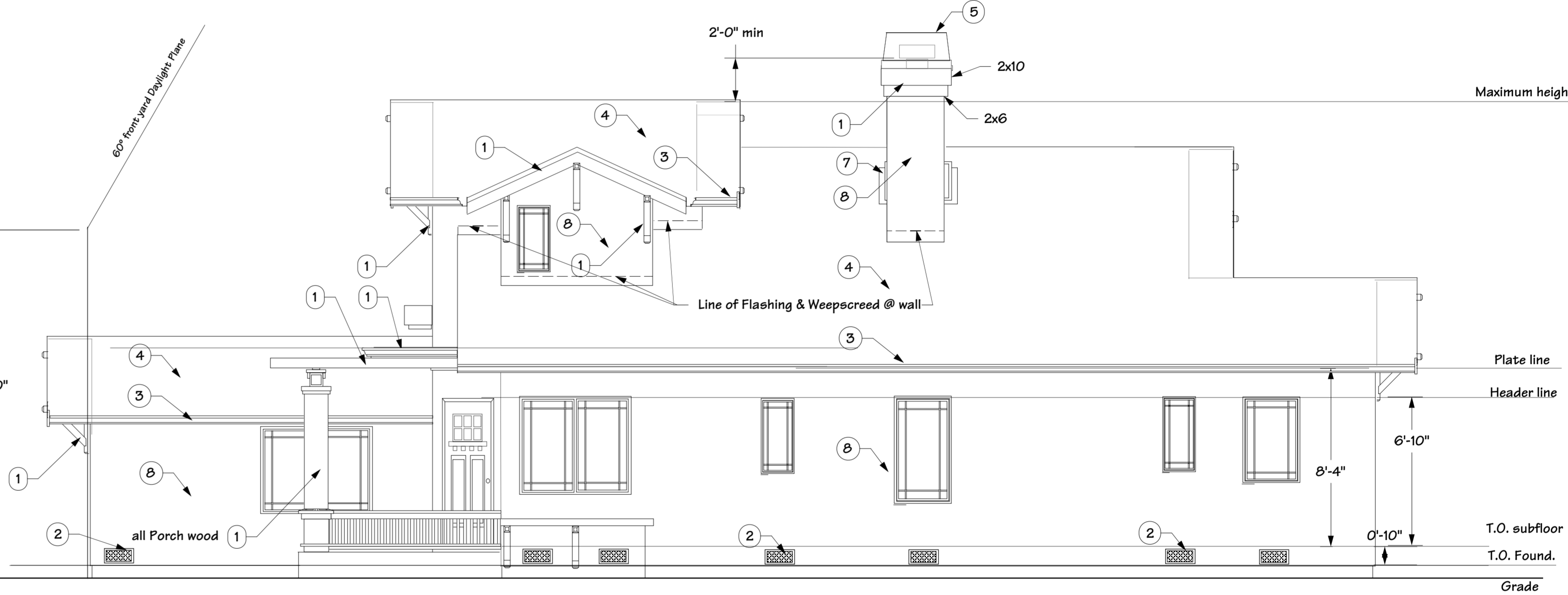
7 Detail @ Beam Intersection
Scale 1" to 1'-0"



2 Elevation @ Front (North)
Scale 1/4" to 1'-0"

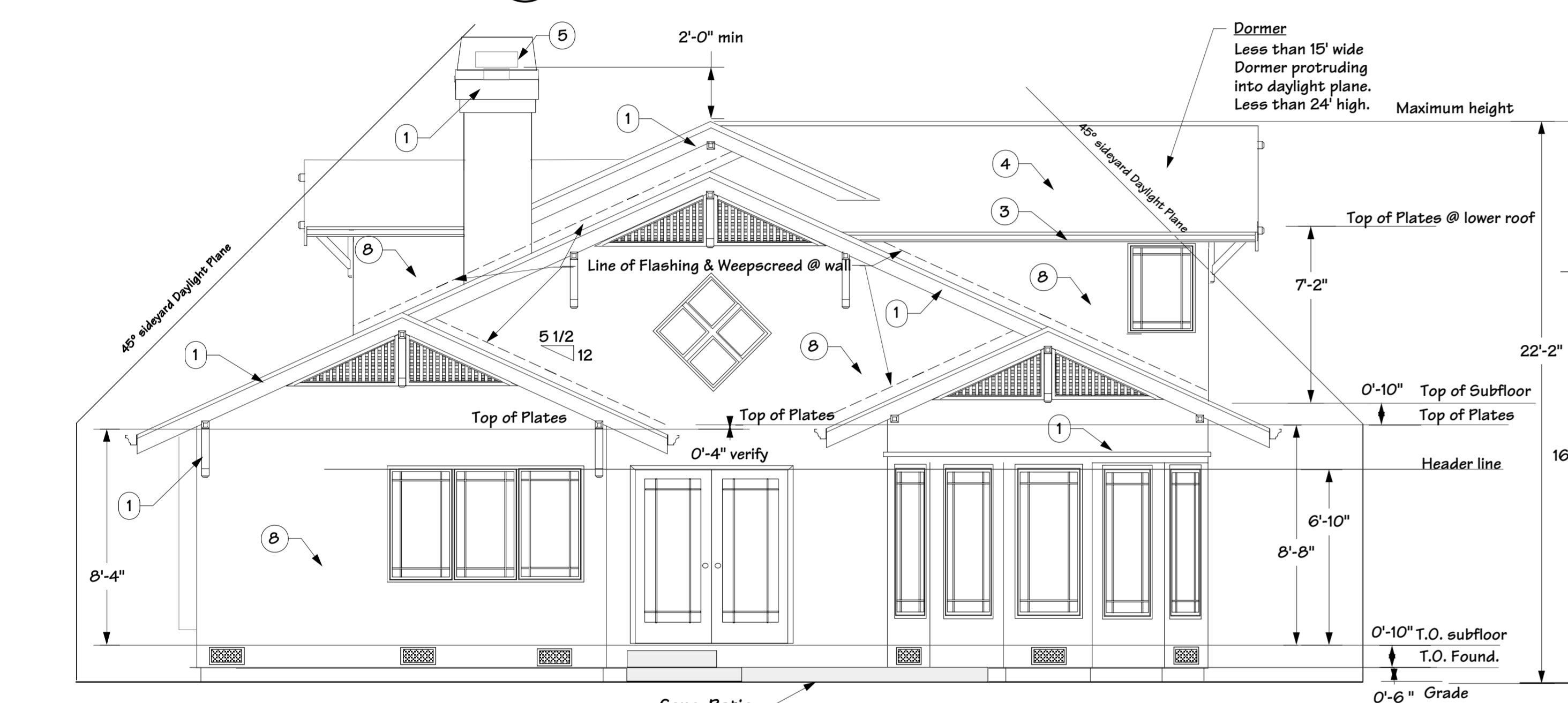


1 Elevation @ Side (East)
Scale 1/4" to 1'-0"



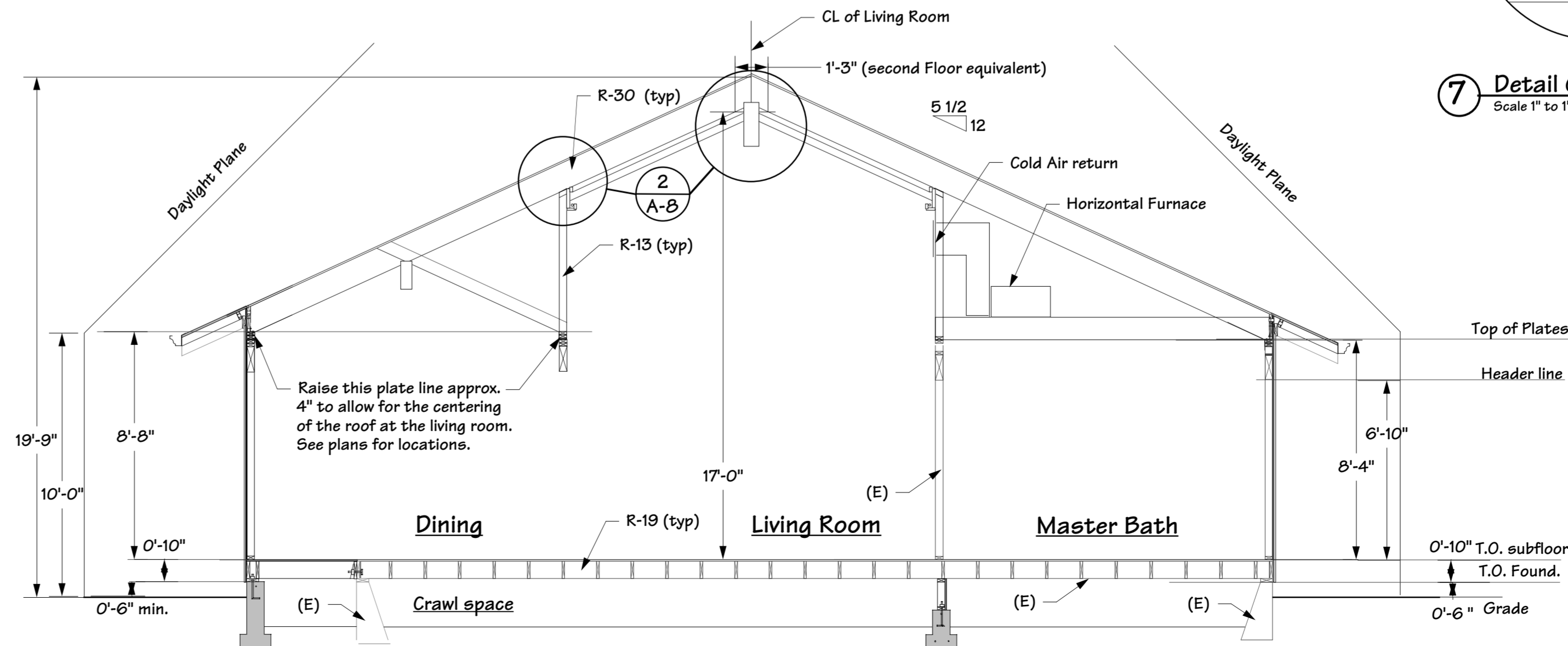
4 Elevation @ Side (West)
Scale 1/4" to 1'-0"

Note: Re: Stucco and Painting
Protect all lower roofs during stucco application and painting. Any roofs stained by cement or paint shall be removed and replaced at no cost to the owner.

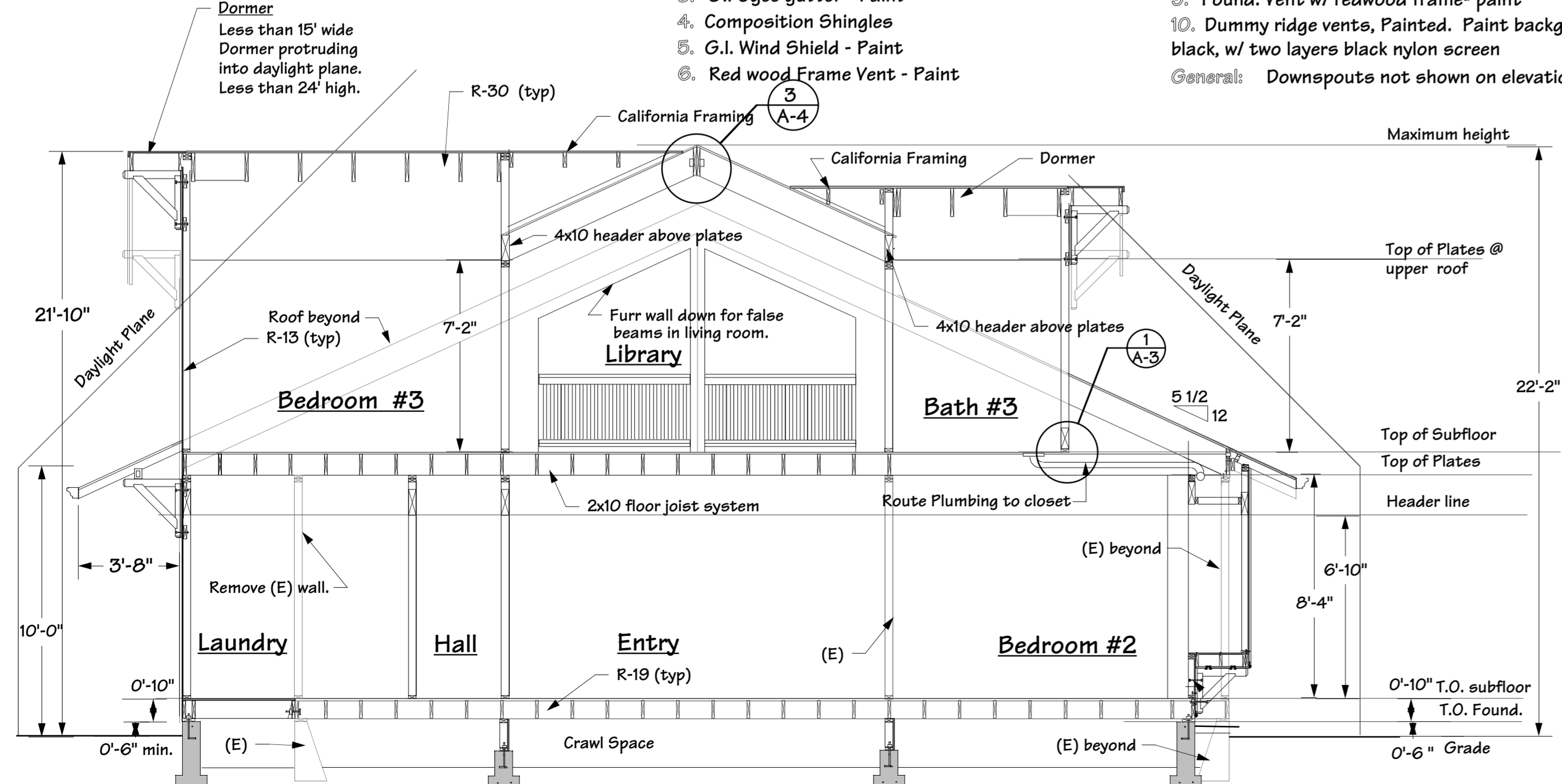


3 Elevation @ Rear (South)
Scale 1/4" to 1'-0"

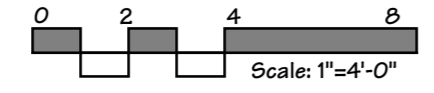
- Legend
- 1. Wood Trim - Paint
 - 2. Screened Foundation Vent paint background black
 - 3. G.I. Ogee gutter - Paint
 - 4. Composition Shingles
 - 5. G.I. Wind Shield - Paint
 - 6. Red wood Frame Vent - Paint
 - 7. Velux skylite
 - 8. Stucco siding-paint
 - 9. Found. Vent w/ redwood frame- paint
 - 10. Dummy ridge vents, Painted. Paint background black, w/ two layers black nylon screen
- General: Downspouts not shown on elevations.

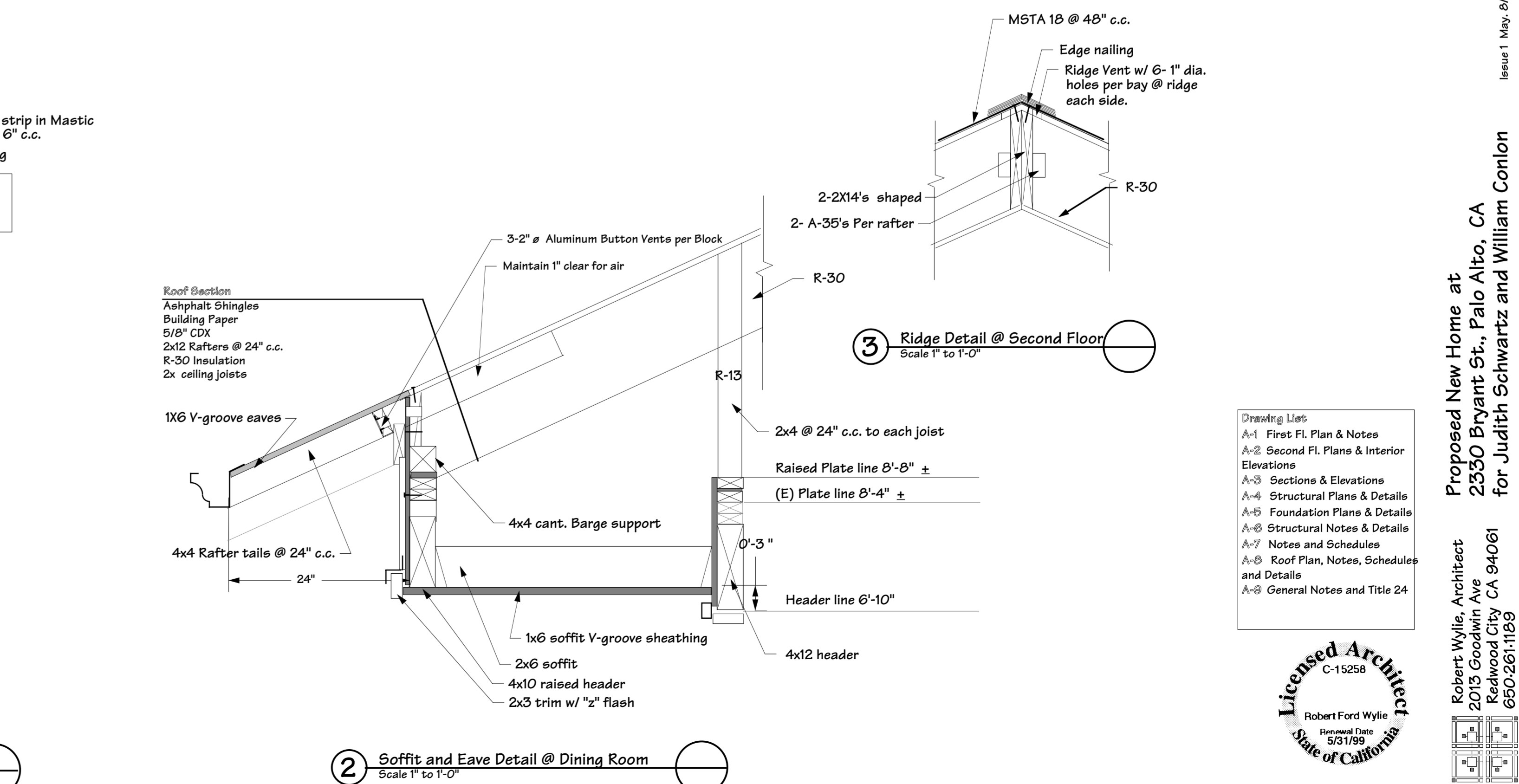
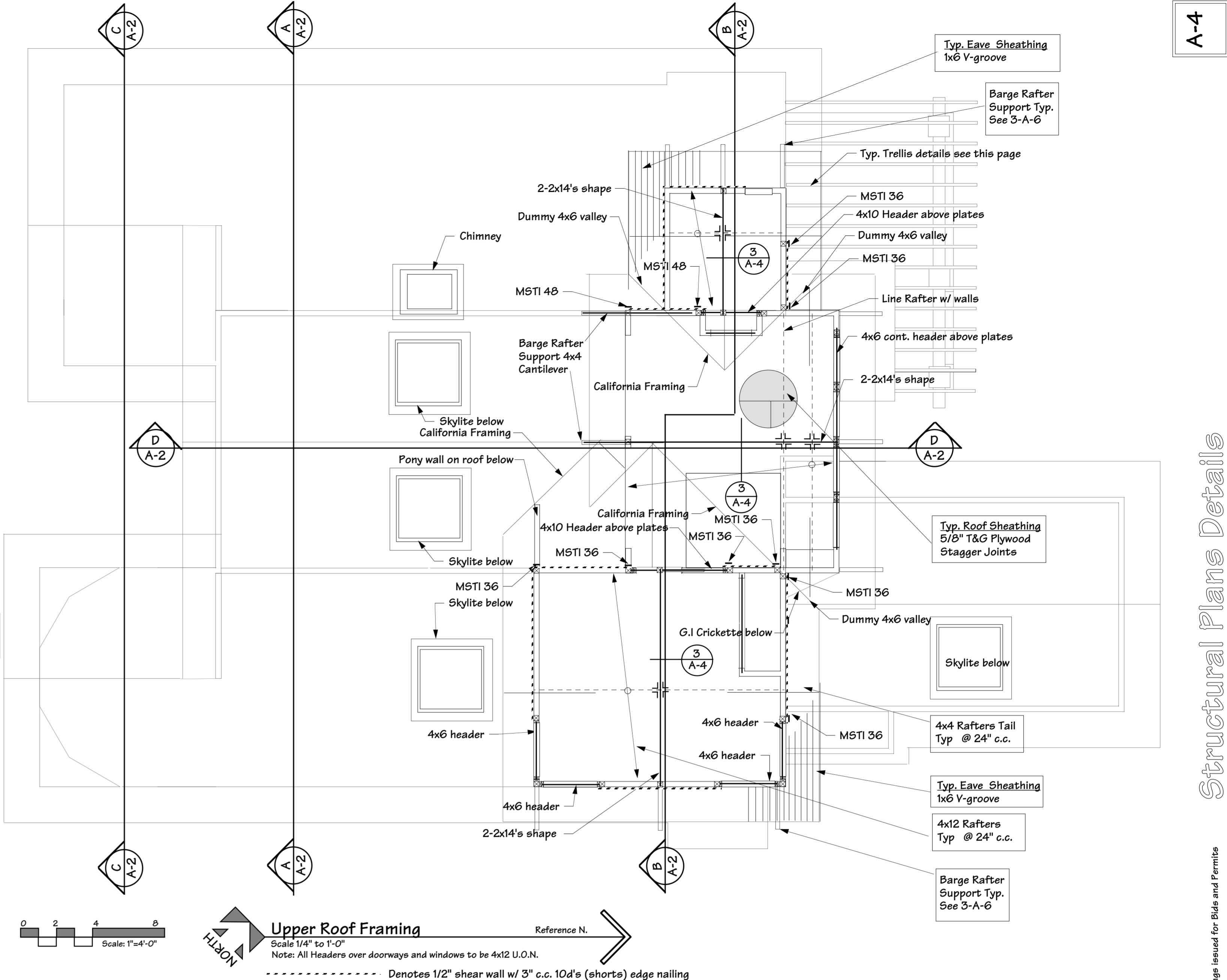


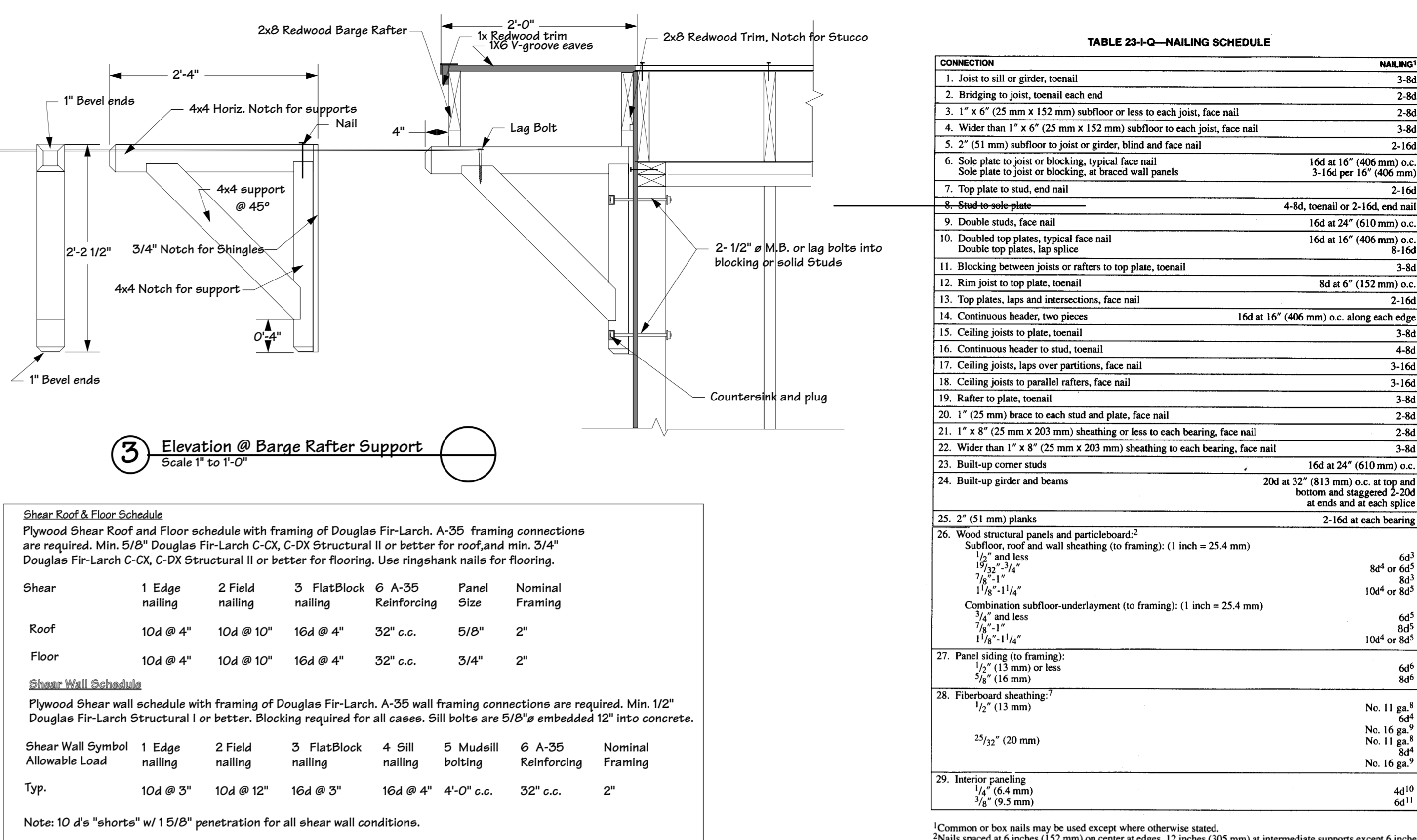
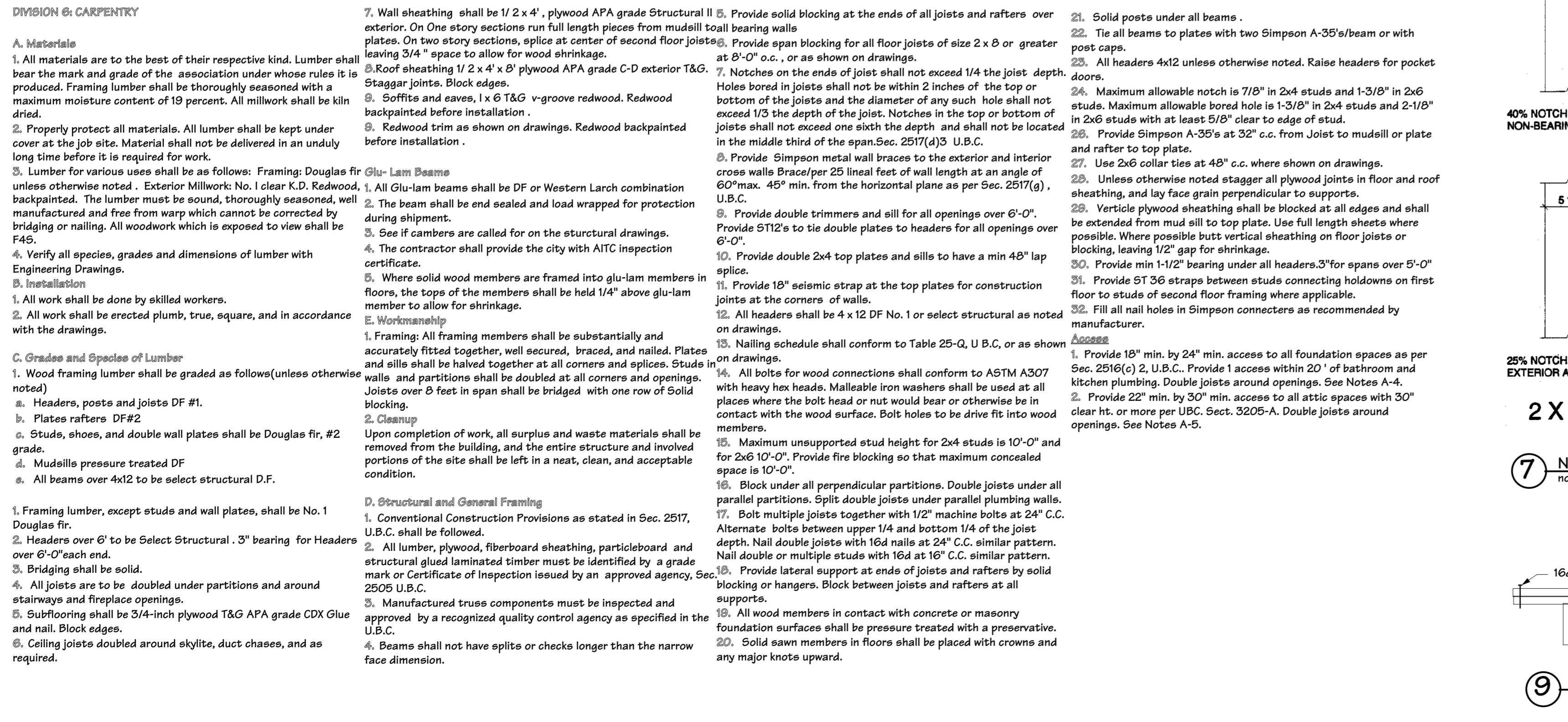
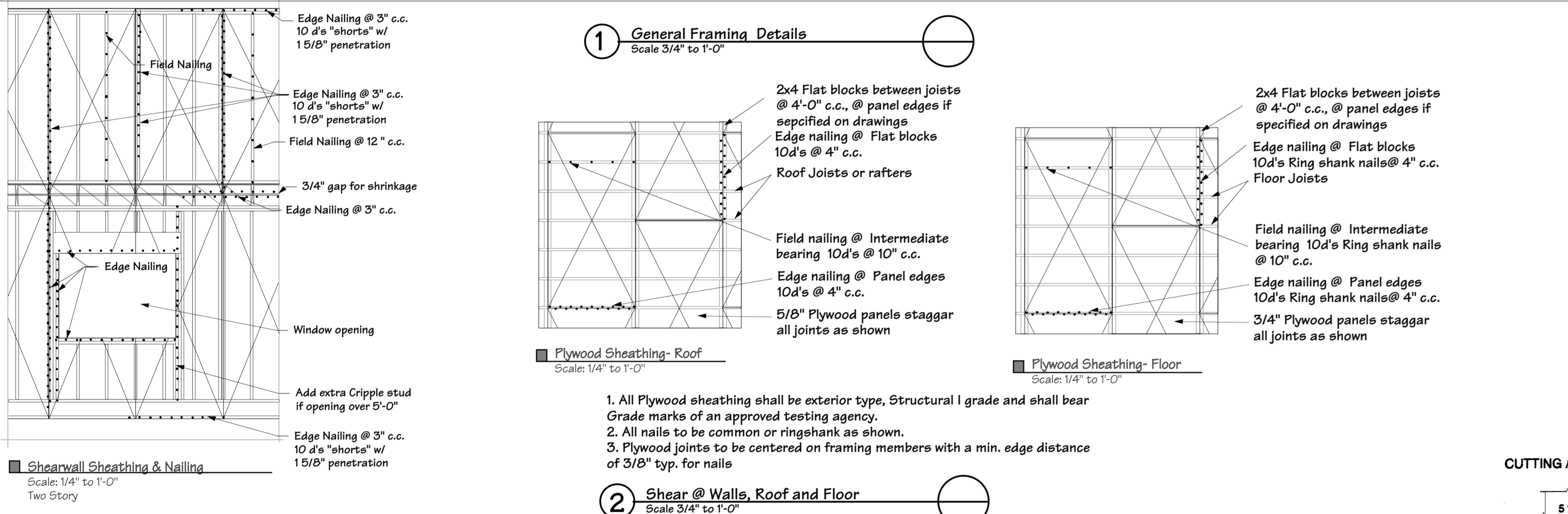
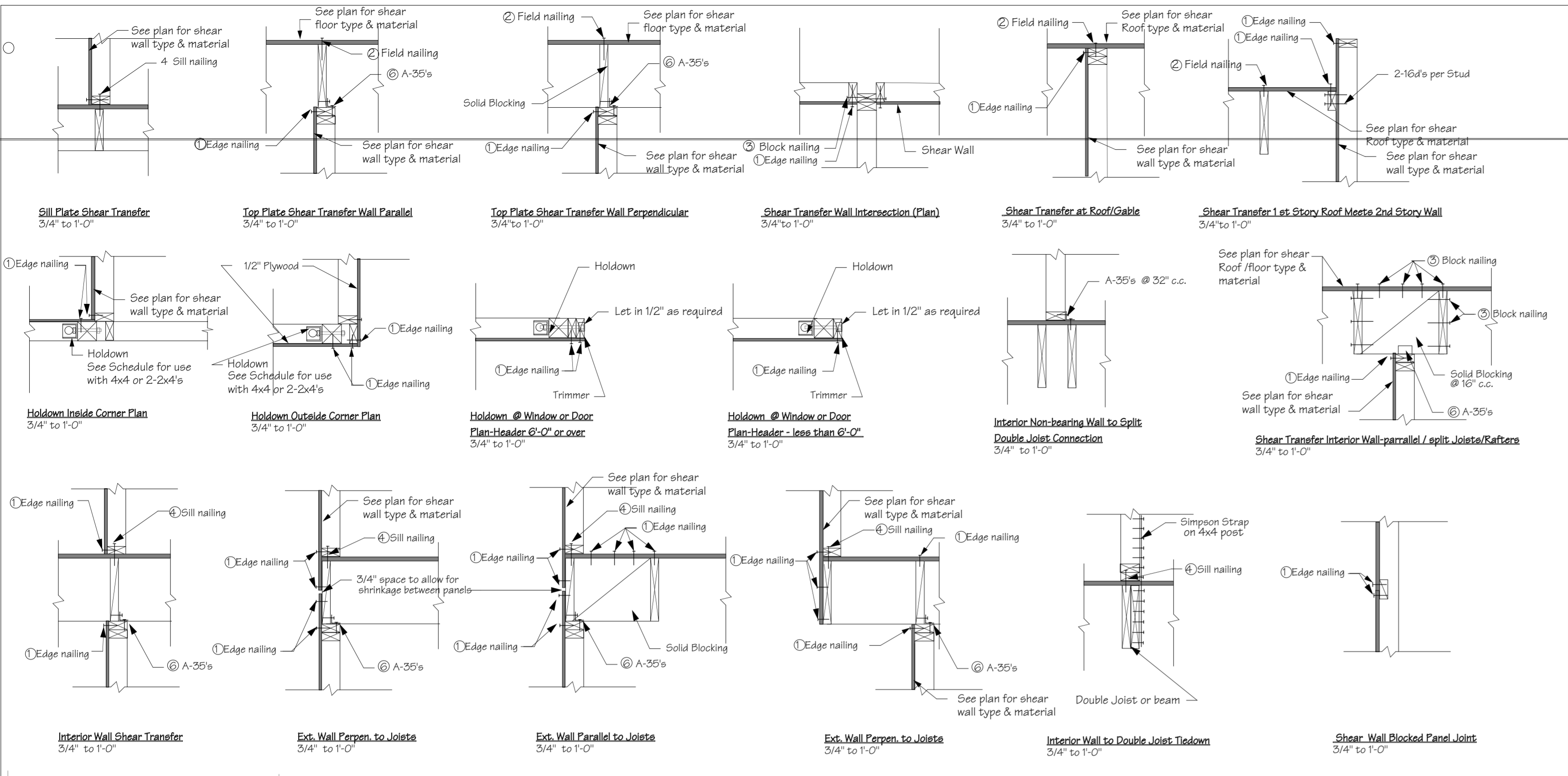
6 Section Living Room
Scale 1/4" to 1'-0"



5 Section @ Entry
Scale 1/4" to 1'-0"







CONNECTION		NAILING ¹
1. Joist to sill or girder, toenail		3-8d
2. Bridging to joist, toenail each end		2-8d
3. 1" x 6" (25 mm x 152 mm) subfloor or less to each joist, face nail		2-8d
4. Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist, face nail		3-8d
5. 2" (51 mm) subfloor to joist or girder, blind and face nail		2-16d
6. Sole plate to joist or blocking, typical face nail		16d at 16" (406 mm) o.c.
7. Sole plate to joist or blocking, at braced wall panels		3-16d per 16" (406 mm)
8. Top plate to stud, end nail		2-16d
9. Double studs, face nail		4-8d, toenail or 2-16d, end nail
10. Doubled top plates, typical face nail		16d at 24" (610 mm) o.c.
11. Double top plates, lap splice		16d at 16" (406 mm) o.c.
12. Rim joist to top plate, toenail		8d at 6" (152 mm) o.c.
13. Top plates, laps and intersections, face nail		2-16d
14. Continuous header, two pieces		16d at 16" (406 mm) o.c. along each edge
15. Ceiling joists to plate, toenail		3-8d
16. Continuous header to stud, toenail		4-8d
17. Ceiling joists, laps over partitions, face nail		3-16d
18. Ceiling joists to parallel rafters, face nail		3-16d
19. Rafter to plate, toenail		3-8d
20. 1" (25 mm) brace to each stud and plate, face nail		2-8d
21. 1" x 8" (25 mm x 203 mm) sheathing or less to each bearing, face nail		2-8d
22. Wider than 1" x 8" (25 mm x 203 mm) sheathing to each bearing, face nail		3-8d
23. Built-up corner studs		16d at 24" (610 mm) o.c.
24. Built-up girder and beams		20d at 32" (813 mm) o.c. at top and bottom and staggered 2-20d at ends and at each splice
25. 2" (51 mm) planks		2-16d at each bearing
26. Wood structural panels and particleboard ²		
Subfloor, roof and wall sheathing (to framing): (1 inch = 25.4 mm)		
1/2" and less		6d ³
3/4" and less		8d ⁴ or 6d ⁵
1/2" and less		10d ⁴ or 8d ⁵
Combination subfloor-underlayment (to framing): (1 inch = 25.4 mm)		
3/4" and less		6d ⁵
1/2" and less		8d ⁵
1/2" and less		10d ⁴ or 8d ⁵
27. Panel siding (to framing):		
1/2" (13 mm) or less		6d ⁶
3/4" (16 mm)		8d ⁶
28. Fiberglass sheathing: ⁷		
1/2" (13 mm)		No. 11 ga. ⁸
		No. 16 ga. ⁹
		No. 11 ga. ⁸
		No. 16 ga. ⁹
29. Interior paneling		
1/4" (6.4 mm)		4d/10
3/8" (9.5 mm)		6d/11

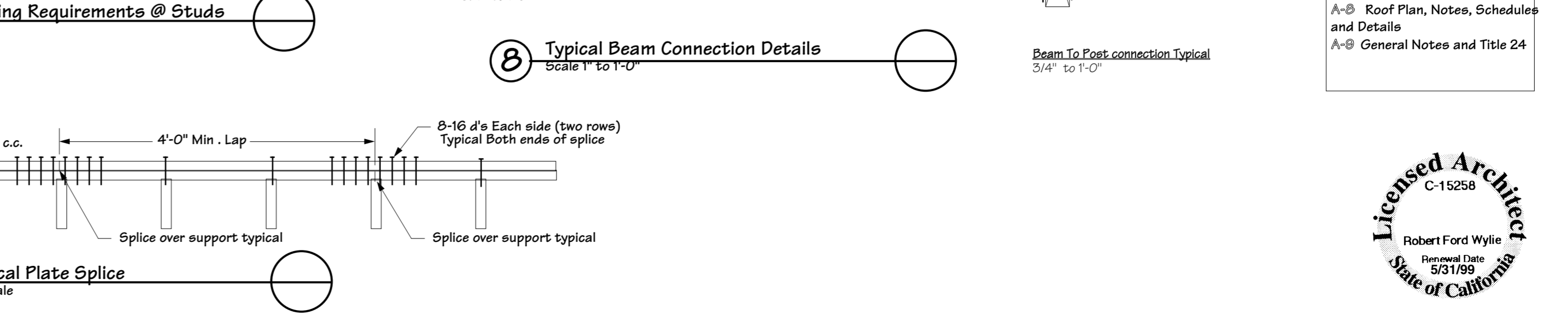
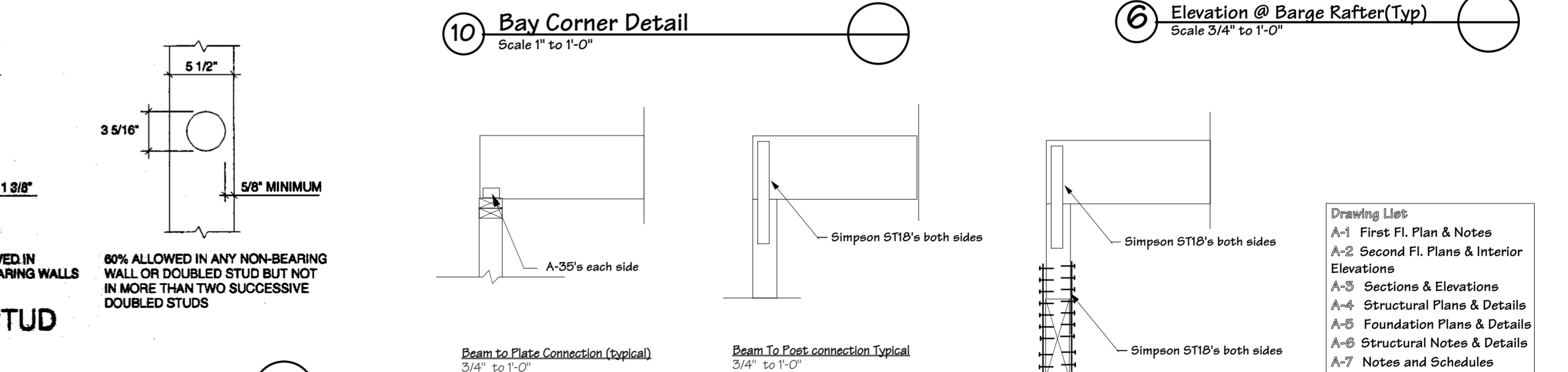
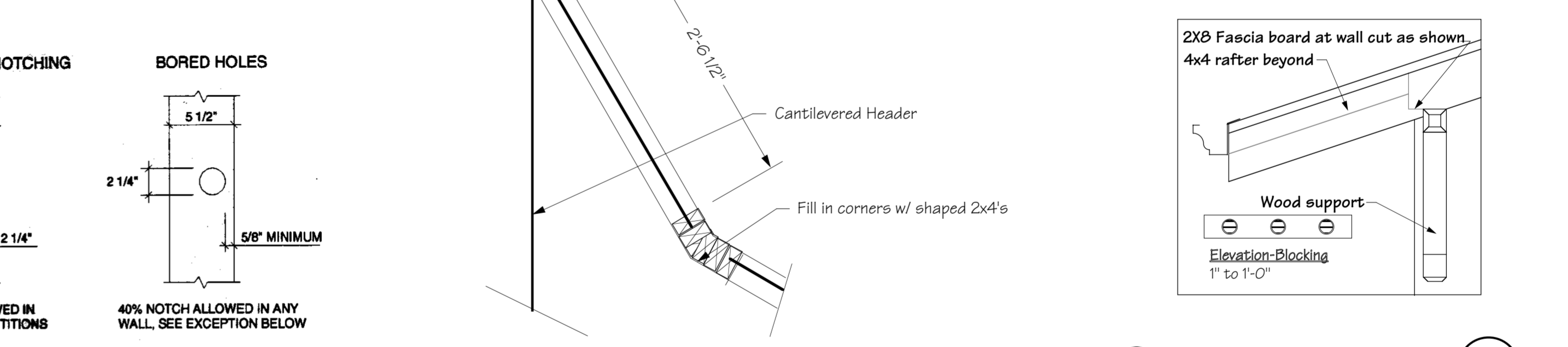


TABLE 23-Q—NAILING SCHEDULE	
CONNECTION	NAILING ¹
1. Joist to sill or girder, toenail	3-8d
2. Bridging to joist, toenail each end	2-8d
3. 1" x 6" (25 mm x 152 mm) subfloor or less to each joist, face nail	2-8d
4. Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist, face nail	3-8d
5. 2" (51 mm) subfloor to joist or girder, blind and face nail	2-16d
6. Sole plate to joist or blocking, typical face nail	16d at 16" (406 mm) o.c.
7. Sole plate to joist or blocking, at braced wall panels	3-16d per 16" (406 mm)
8. Top plate to stud, end nail	2-16d
9. Double studs, face nail	4-8d, toenail or 2-16d, end nail
10. Doubled top plates, typical face nail	16d at 24" (610 mm) o.c.
11. Double top plates, lap splice	16d at 16" (406 mm) o.c.
12. Rim joist to top plate, toenail	8d at 6" (152 mm) o.c.
13. Top plates, laps and intersections, face nail	2-16d
14. Continuous header, two pieces	16d at 16" (406 mm) o.c. along each edge
15. Ceiling joists to plate, toenail	3-8d
16. Continuous header to stud, toenail	4-8d
17. Ceiling joists, laps over partitions, face nail	3-16d
18. Ceiling joists to parallel rafters, face nail	3-16d
19. Rafter to plate, toenail	3-8d
20. 1" (25 mm) brace to each stud and plate, face nail	2-8d
21. 1" x 8" (25 mm x 203 mm) sheathing or less to each bearing, face nail	2-8d
22. Wider than 1" x 8" (25 mm x 203 mm) sheathing to each bearing, face nail	3-8d
23. Built-up corner studs	16d at 24" (610 mm) o.c.
24. Built-up girder and beams	20d at 32" (813 mm) o.c. at top and bottom and staggered 2-20d at ends and at each splice
25. 2" (51 mm) planks	2-16d at each bearing
26. Wood structural panels and particleboard ²	
Subfloor, roof and wall sheathing (to framing): (1 inch = 25.4 mm)	
1/2" and less	6d ³
3/4" and less	8d ⁴ or 6d ⁵
1/2" and less	10d ⁴ or 8d ⁵
Combination subfloor-underlayment (to framing): (1 inch = 25.4 mm)	
3/4" and less	6d ⁵
1/2" and less	8d ⁵
1/2" and less	10d ⁴ or 8d ⁵
27. Panel siding (to framing):	
1/2" (13 mm) or less	6d ⁶
3/4" (16 mm)	8d ⁶
28. Fiberglass sheathing: ⁷	
1/2" (13 mm)	No. 11 ga. ⁸
	No. 16 ga. ⁹
	No. 11 ga. ⁸
	No. 16 ga. ⁹
29. Interior paneling	
1/4" (6.4 mm)	4d/10
3/8" (9.5 mm)	6d/11

¹ Common or box nails may be used except where otherwise stated.

² Nails spaced at 6 inches (152 mm) on center at edges, 12 inches (305 mm) at intermediate supports except 6 inches (152 mm) at all supports where spans are 48 inches (1219 mm) or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Section 2314.3. Nails for wall sheathing may be common, box or casing.

³ Common or deformed shank.

⁴ Common.

⁵ Deformed shank.

⁶ Corrosion-resistant siding or casing nails conforming to the requirements of Section 2325.1.

⁷ Fasteners spaced 3 inches (76 mm) on center at exterior edges and 6 inches (152 mm) on center at intermediate supports.

⁸ Corrosion-resistant roofing nails with 7/16-inch-diameter (11 mm) head and 1 1/2-inch (38 mm) length for 1/2-inch (13 mm) sheathing and 1 1/2-inch (44 mm) length for 2 1/2-inch (20 mm) sheathing conforming to the requirements of Section 2325.1.

⁹ Corrosion-resistant staples with nominal 7/16-inch (11 mm) crown and 1 1/2-inch (29 mm) length for 1/2-inch (13 mm) sheathing and 1 1/2-inch (38 mm) length for 2 1/2-inch (20 mm) sheathing conforming to the requirements of Section 2325.1.

¹⁰ Panel supports at 16 inches (406 mm) [20 inches (508 mm) if strength axis in the long direction of the panel, unless otherwise marked]. Casing or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.

¹¹ Panel supports at 24 inches (610 mm). Casing or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.

Schedule / Appliance Schedule									
Room	Item	Item	Fixture	Brand	Model#	Color	Purch.	Install	Remarks
Kitchen	P1	Sink #1	Sink	Kohler	Bakersfield	White	Cont.	Cont.	three holes model K5834-3U
	A3		Faucet	GE	33.833	White	Cont.	Cont.	Europool model, with removable faucett head, w/ optional Grohe soap dispenser. Undermount style.
			Garbage Disposal		GFB1050G	N.A.	Own.	Cont.	
			Air Gap				Cont.	Cont.	
	A6	Wine cooler	Wine cooler	U-line	75-WC	White	Own.	Cont.	
	A4	Dishwasher	Dishwasher	Bosch	SHU4302UC	White	Own.	Cont.	
Master Bath	P3	Range	Range	Kan Aide	KOS1307GWH	White	Own.	Cont.	provide gas and electric hookup as required w/ ext. vent.
	A5	Range Hood	Hood	Best	K41	White	Own.	Cont.	
	A1	Microwave	Microwave		(E)	White	Own.	Cont.	
		Refrigerator	Refrigerator	Jemm-air		White	Own.	Cont.	Provide for Automatic Ice Maker See elevations
	P5	Basin	Lavatory	Porcher	1224	White	Cont.	Cont.	Graphique model single hole
Bath #2	P3	Toilet	Faucet	Grohe	Taron	Chrome	Cont.	Cont.	single hole
	P8	Tub set	Tub set	Grohe	Ultimate	White	Cont.	Cont.	complete w/ seat
					25.597	Chrome	Cont.	Cont.	w/ lever handles, 18.754, complete w/ hand held spray
Bath #3	P6	Tub	Tub	Porcher	1109	White	Cont.	Cont.	Graphique model
	No #	Towel Bars					Owner	Cont.	
Bath #2	P7	Basin	Sink	Whithause	WHSL207A	SS	Cont.	Cont.	Wall mounted, verify all fixture locations before rough in.
	P4	Toilet	Faucet	Grohe	Toto	White	Cont.	Cont.	single hole
					Ultimate	White	Cont.	Cont.	complete w/ seat
Bath #3	P8	Shower	shower head	Grohe		Chrome	Cont.	Cont.	Shower doors, tempered, in green tint to match lav glass.Owner to approve
	No #	Glass door	volume controls	Grohe	Talia 19.710	Chrome	Cont.	Cont.	
	No #	Towel Bars					owner	Cont.	
Bath #3	P7	Basin	Sink	Kohler	Farmington	White	Cont.	Cont.	round top m.c. w/ PLL1.5F lights on each side
	P4	Toilet	Faucet	Grohe	Talia 20.892	White	Cont.	Cont.	wide set
					Wellworth	White	Cont.	Cont.	complete w/ seat
Bath #3	P8	Shower	shower head	Grohe	Talia 19.710		Cont.	Cont.	
			volume controls	Grohe	Talia 19.710		Cont.	Cont.	
	No #	Glass door					Cont.	Cont.	Owner to approve of glass and frame, tempered glass
Laundry	A7	Washer	Washer	Robem	PLM1637	Chrome	Cont.	Cont.	round top m.c. w/ PLL1.5F lights on each side
	A7	Dryer	Neptune	Maytag	Neptune	White	Owner	Cont.	Stack units
	P2	Sink	Neptune	Maytag	Neptune	White	Owner	Cont.	Electric Dryer
Mec. App.	A9	Faucet	Faucet	Elkay	PricePflister	SS	Cont.	Cont.	T.B.C.
							Cont.	Cont.	T.B.C.
							Cont.	Cont.	
Mec. App.	A9	Fireplace	Fireplace	Majestic	SH36	Black	Cont.	Cont.	Provide Comb. air kit, flue, storm collar, chimney top. Glass doors finish and style approved by owners. Min. flue height 15'and all items necessary to install. UL6MHGO18
Mec. App.	A10	Furnace	Furnace	Bryant	36CAY-048096		Cont.	Cont.	w/ electrostatic filter option.
	A8	Elect. Cleaner	Elect. Cleaner	Carrier	31-KAX016		Cont.	Cont.	electrostatic filter
	A8	H.W. heater	H.W. heater	Sears	33055		Cont.	Cont.	50 Gal. Fast recovery,high eff. with recirculating hot water system.
Note: Owner to provide all Towel Bares, T.F. dispensers, in all baths. Contractor to provide necessary blocking and installation. Locate Exactly w/ Owner on site before installation.									

Room Finish Schedule

Room	Struct.	Fl.Fin.	Base	Crown Trim	Walls/Tex./fin	Cin'g./Tex./fin	Wood Trim	Remarks
Mas. B.R.	Wd.	Wood/oak	Wd.	2" Crown, paint	Gyp.Bd. PLF	Gyp.Bd. PLF	Paint enamel	
Mas. Closet	Wd.	Wood/cedar	Wd.		Gyp.Bd.w/ cedar finish	Gyp.Bd. PLF	Paint enamel	
Mas. Bath	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bath #2	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bath #3	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bed. #2	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Bed. #3	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Cl. #1, 4, &5	Wd.	Wood/oak	Wd.		Gyp.Bd. PLF	Gyp.Bd. PLE	Paint enamel	
Laundry	Wd.	C.Tile	Wd.		Gyp.Bd.PLE	Gyp.Bd. PLF	Paint enamel	
Entry & Hall	Wd.	C.Tile	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Loft / Library	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Living room	Wd.	Wood/oak	Wd.	3" Crown, stain	Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Dining	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd.PLF	Stain	
Kitchen	Wd.	C.Tile	Wd.		Gyp.Bd.PLE	Gyp.Bd. PLF	Stain	
Dining	Wd.	Wood/oak	Wd.	2" Crown, stain	Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Garage	Conc.	conc.	conc.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Hot Water Closet	Conc.	conc.	conc.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Entry Porch	Conc.	C.Tile	None		Stucco PLF	sand finish	Paint enamel	

Floors	Walls	Ceilings	Paint/Finish	Note:
Wood/oak-means new	o Gyp.Bd. plaster -like finish	o Gyp.Bd. plaster -like	PLF-Paint Latex Flat	Walls and ceilings to recieve a plaster like
2 1/4"x3/4" Red Oak over Sub	Provide samples for owner	finish Provide samples for	PLFE-Paint Latex Flat Enamel	finish U.O.N..Provide samples for Owner to
floors. Provide stain samples for owner's approval.	oGreen waterproof board for tile backing @ splash backs and walls where tile is to be applied.	owner approval.	PLE- Paint latex enamel	approve.
			ST. Stain	

DIVISION 8: FINISHES									
A. Work Included									
This work shall include but shall not be limited by the following:									
1. Gypsum wallboard.									
2. Hardwood strip flooring.									
3. Painting.									
4. Stone and Ceramic Tile									
B. Gypsum Wallboard									
General									
When practical, wallboard should be applied first to the ceilings, and then to walls. Sheets should be brought into contact but not forced into place. Spaces between sheets should not exceed 1/4" and tapered edges should be placed next to each other when possible. Drywall should extend at least 6" past door and window openings, except where this is impossible.Cutouts for electrical outlets, pipes, fixtures or other small openings should be cut out neatly with maximum clearance of 1/4". If there are any gaps exceeding 1/4", they must be filled with taping cement.Fix all other approved materia and holes must be filled before the drywall is inspected,but do not tape joints prior to inspection.									
Nailing									
Nails should be driven so that the head is in a small dimple formed by the last blow of the hammer. Takecare not to fracture the board when nailing. Fractures of the wallboard caused by over driving must be corrected by additional nailing. Nails must be between 5/8" and 1" from the edges, and nails on adjacentedges should be opposite each other. If you are using the single nailing system, the nails should be spaced 7" on center on the ceilings and 8" on center on the walls. The double nailing system is also permitted. Groups of 2 nails 2 - 2 1/2" apart are spaced 12" on center in this system. Approved screwsmay also be used to apply wallboard. Screws must be placed 3/8" from the end or edges of the board and spaced 12" on center. Screws must be used for fastening wallboard at pocket doors.									
Corners									
All metal reinforced corners must fit snugly against wallboard and should be nailed approximately 12" oncenter. All 1" edge metal trim should be nailed every 6". Paperback corner bead is acceptable if installedas per the manufacturer's instructions.									
Drywall in Shower Enclosures									
When gypsum board is used as a base for tile or wall panels for tub or shower enclosures, water-resistant gypsum backing board shall be used. Nailing of the drywall in a shower enclosure is the same as for any other area; however, additional treatment may be required depending on what system is used to installtile or other wall finishes. Check with the Building Inspector for further requirements in this area.									
Drywall in Fire Resistive Construction									
There are two areas in residential construction where one-hour fire resistive construction is required. One area is the wall separating an attached garage from the living area, and the other is enclosed usable space (walls and ceilings) under a stairway. A one-hour firewall is constructed as follows: 5/8" type "X" gypsum wallboard is nailed 7" on center with 6d "cooler" nails to studs spaced 16" on center. All gaps and penetrations must be filled with taping cement or stuffed with noncombustible material such as fiberglass insulation Recommended Nails For Drywall									
1/2" thick drywall: 14 cement coated box nail, or 1 3/8" - 14 gauge, acid-etched, phosphate coated nail, or 4d "drytite" nail									
5/8" thick drywall: all framing conditions @ 24" c.c. 6d cement-coated box nail, or 1 1/2" - 14 gauge, acid etched, phosphate coated nail, or 5d "drytite" nail Any other nail or fastener with ICBO approval may also be used. (Fire resistive construction must comply with Table 7B of the 1994 UBC.									
Joint Finishing									
After gypsum wallboard has been installed, finish all joints and nail heads using the PerF-A-Tape joint system as recommended by the US Gypsum Company. PerF-A-Tape system to be installed according to the manufacturer's recommendations. Finishes per finish Schedule									
C. Hardwood Flooring									
All subfloors are to be broom cleaned and covered with deadening felt before the finished floor is laid.Wood flooring, where scheduled, is to be 1 x 2 1/4 tongue-in-groove and end-matched select red oak flooring. Flooring is to be laid evenly and blind nailed or stapled every 16-inches without tool marks. No Shorts. Owner to be provided with stain sample pieces.									
H. Painting									
1. All exterior paint shall be nonchalking and shall be guaranteed not to stain or otherwise discolor any adjacent work. All materials shall be used only as specified by the manufacturer. All knots and sap spots shall be treated with two coats of pure white shellac where paint or enamel is to be applied.									
2. Schedule of Painting									
a. Priming: Prime all exterior work which has not been primed by the manufacturer. All interior trim with an approved trim primer before installation. All primer is to be of the same manufacturer as that of the finished material which is to be applied. Prime all sides of exterior woodwork.Prime back of door and window exterior trim before installation.									
b. Exterior woodwork: Paint all exterior doors, windows, and trim with two coats of approved trim and shutter paint.									
J. Ceramic Tile and Stone									
All ceramic tile and stone tiles shall be standard grade of approved quality. The contractor shall submit samples to the owner for approval as to color and texture. Provide a cash allowance of \$5.00 per S.F. This allowance covers the net cost to the contractor and does not include any labor, overhead, or profit. Tile shall be selected by the owner but will be purchased by the contractor where directed. The net difference in cost, if any, shall be added to or deducted from the contract as the case may be. See tile and stone schedule.									
1. Wall tile shall be 4 x 4 or 6x6 in size, u.o.n. Setting shall be by conventional tile adhesive over mortar base on waterproof gypsum board.. All cove, bullnose, and trim pieces shall be furnished and neatly finished to drywall construction according to the drawings.									
2. Floor tile shall be unglazed, 12" x 12". See Schedule.									
3. Provide one recessed tiled niche in all tubs and showers, size and location as directed by owner.									
4. Installation: Lay out ceramic tiles on floors and walls so that no tiles less than one-half size occur. Maintain full courses to produce nearest obtainable heights as shown on drawings without cutting the tile. Align joints in the wall and trim vertically and horizontally without staggered joints. All Tiles on mortar base.									
Add accent tiles on exterior and interior as directed by owner. Owner to purchase contractor to install.									
4. Ceramic tiles in showers to 6'-6" U.O N.									

DIVISION 12: ELECTRICAL

A. Work Included

In general, the electrical work includes, but shall not be limited by the following:

- Service entrance.
- Wiring.
- Electrical Service & telephone Service from utility pole to be underground.
- Smoke detectors.
- All cutting and patching for installation of the work.
- Installation of Telephones, Data, and T.V. outlets as shown on drawings.
- Installation of hardwired security system. Provide two security panels where directed by owners. Provide power where directed by subs.
- General Requirements

The complete installation shall be made in a neat, workmanlike manner in conformance with best modern trade practices, by competent, experienced electricians and to the full satisfaction and approval of the architect. All work shall be in accordance with local, state, or federal requirements, and shall comply with all applicable codes.

C. Guarantees

The contractor guarantees that:

1. All work executed under this contract will be free from defects of material and workmanship for a period of one year from the date of acceptance by the owner.

2. The contractor, at his expense, will repair and replace all such electrical work and all other work or damage thereby, which becomes defective during the period of the guarantee.

D. Specifications

1. Service supplied to the structure shall be a wire, 116/230 volts, 60-cycle, single phase.

2. Service panel shall have a 200-ampere capacity, with automatic circuit breakers. The service panel shall be flush mounting with a flush door and shall accommodate 30 circuits.

3. Wiring: All circuit wiring is to be copper 12-gauge or larger, Type TW for general use.

4. Boxes: Outlet boxes and junction boxes are to be galvanized steel approved for proposed use and of a suitable size to accommodate the requirements of the fixture, wiring device, or equipment, and the wiring connections.

5. Switches and outlets: Dimmer switches-Leviton Decora slide, with night light feature. Verify all locations with owners. All other switches and outlets-Leviton Decora to match above. Outlets and switches and lighting fixtures to be mounted in metal or approved boxes All incandescent lights to be on dimmers, Slide type.

6. Wire: All outlets to be 12 Ga. wire. All others per code. All wire copper.

7. Location of outlets: Outlets, as shown, are in approximate locations. These must be checked on the job for possible conflicts with other trades or built-ins. Convenience outlets shall be 16 inches to center from the finished floor, unless otherwise noted.

8. Grounding: The complete electrical system will maintain a solid ground, in accordance with the National Electrical Code.

E. Special Outlets

The contractor shall furnish and install receptacles, and switches as required, for the following special outlets:

- Exhaust fan over kitchen range and gas range.
- Electric oven microwave combo in kitchen.
- Electric Dishwasher and Disposals.
- Gas dryer and electric washer in Laundry.
- Furnace control switch at Attic. Outlets for fans for heat delivery system as directed by Heating Contractor.
- All electric exhaust fans.
- Smoke detectors: Install smoke detectors in all existing sleeping rooms and their access hallways per Section 310(a) UBC. AC/DC interconnected
- Telephone Outlets

Furnish and install telephone wiring with outlets as shown on drawings.

G. Exhaust Fan

Furnish and install exhaust hood and fan in the kitchen as indicated on drawings. Exhaust fans in bathrooms as shown

H. Signal Chimes

Install chimes with electric connection to approved transformer and light circuit. Provide an outside push button at front door. Owner to Provide Chimes.

I. Lighting Fixtures

The contractor shall furnish and install all electrical fixtures according to legends and schedules.

J. Additional Electrical Notes

1. All receptacles, per 1991 N.E.C. shall be ground fault circuit interrupters for dwelling units when installed:

- within 6'-0" of kitchen sinks...1991 N.E.C. 210-8 (a)5
- Bathroom Outlets...1991 N.E.C. 210-8 (a)1
- All Garage Outlets...1991 N.E.C. 210-8 (a)2- Exception-ceiling
- all outdoor outlets...1991 N.E.C. 210-8 (a)3
- all light fixtures within 5'-0" of Whirlpool baths or spa...1991 N.E.C. 680-41 (b)

f)Generally: bath houses, crawl spaces, at least one in unfinished basements per N.E.C. 210-8

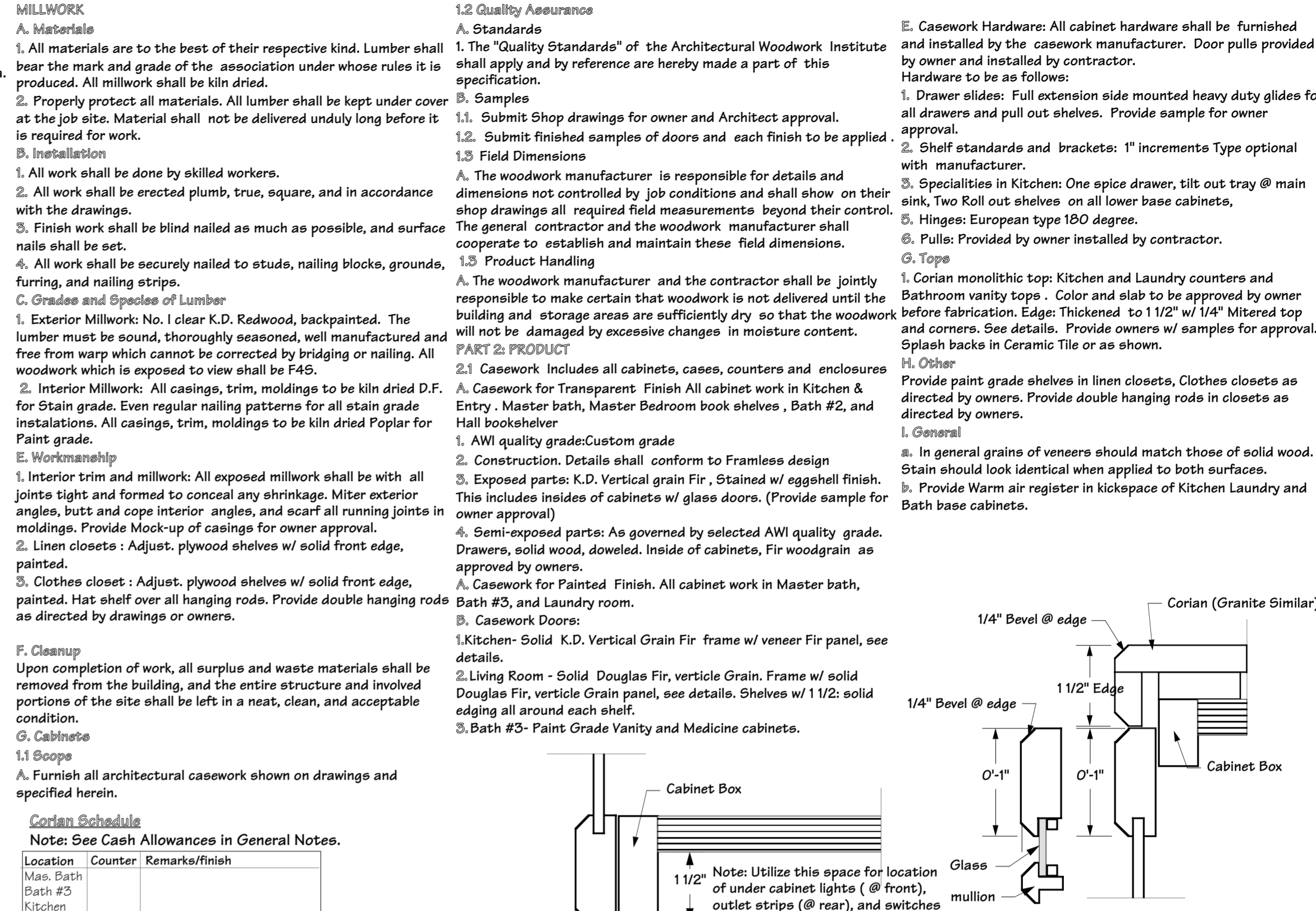
2. General purpose lighting fixtures in kitchen and bathrooms shall have an efficiency of at least 40 lumens/watt-C.E.C. 24. and 150 (k)

3. All recessed fixtures in ceilings that are required to be insulated must be I. C. type fixtures.

4. Closet lights to conform to N.E.C. 5-410-8

5. Provide the following outlets per N.E.C.

- 4'-0" c.c. all kitchen countertops...1991 N.E.C. 210-52 (a)
- 12'-0" c.c. all other rooms...1991 N.E.C. 2



3 **Reflected Ceiling Skylite @ Kitchen**

Scale 1/2" to 1'-0"

Window Detail (Typical)
Scale 2" to 1'-0" - (Doors Similar)

5 **Typical Window Details**
Scale 2" to 1'-0"

Technical drawing showing the details of the Entry Shelves & Loft Handrail. The drawing includes the following components and dimensions:

- 1x8 railing cap K.D. fir
- 2x4 K.D. fir
- 2x6 K.D. fir
- 2x2's @ 4" c.c.
- 2x4 K.D. fir
- 1x cap trim K.D. fir
- 2x10 false beam trim K.D. fir
- 1x bottom beam trim K.D. fir
- 1x3 cap trim K.D. fir
- 7"x7" finished columns K.D. fir
- 1x3 base trim K.D. fir
- 3/4" plywood
- Wrap flat stud framing w/ gyp. bd.
- 2x12 shelf K.D. fir
- 2'-5" finish height
- 3/4" plywood
- 7"
- 1'-3"
- 3'-0"

Entry Shelves & Loft
Handrail Details
 Scale 1/2" = 1'-0"

DIVISION 8: DOORS, WINDOWS, AND GLASS

A. Work Included
 This work shall include but shall not be limited by the following:

1. Solid wood doors and solid wood door frames.
2. Hanging and fitting of doors.
3. All window units.
4. All window and door trim.
5. Mirrors in the bathrooms over the vanities.
6. Shower enclosures and doors.

Windows and doors

1. Provide approved flashing at all openings in exterior walls.
2. Provide and install screens at all operable windows. Finish to match related window frame finish. See schedule.
3. Caulk all exterior frames as per U.B.C. and C.E.C. requirements.

Temper and size glazing for all locations as required by U.B.C. Chapter 24.

64. Provide Drip Flashings over all exterior doors and windows.

4. Verify exact window opening sizes with window manufacturer. Verify window sizes to meet UBC egress requirements where applicable.

All doors and windows must be labeled certified according to U.B.C. standards.

5. Weatherstripping required at all exterior doors.

D. Hanging and Fitting of Doors
 All doors shall be accurately cut, trimmed, and fitted to their frames. All doors shall operate freely without binding, and all hardware shall be adjusted properly. Exterior doors shall be fitted with weather stripping.

E. Interior Door and Window Trim
 All Frames prepared to receive K.D. fir trim (stain) or K.D. Poplar trim (paint) as shown on the plans.

F. Wood Clad Windows
 All window units shall be Casement with Simulated divided mullions fixed to glass with internal aluminum spacers, as shown on drawings. Sizes and styles shall be as shown on the drawings. Wood combination with screen units will be furnished for each window. Contractor and Provider to verify locations for tempered glass and egress windows before ordering.

Bathroom Mirrors
 Mirrors shall be 1/4-inch silver plated glass with copper backing, of the type used as shown on drawings. Mirrors shall be neatly installed directly on wall with mastic and carefully fitted to the top of the vanity. Mirrors shall be the same length as the vanity top and shall be the height shown on drawings. Grind edges for safety. Provide mirror in panel of Master bath door as shown on drawings.

Entry Shelves & Loft
Handrail Details

Drawing List
A-1 First Fl. Plan & Notes
A-2 Second Fl. Plans & Interior Elevations
A-3 Sections & Elevations
A-4 Structural Plans & Details
A-5 Foundation Plans & Details
A-6 Structural Notes & Details
A-7 Notes and Schedules
A-8 Roof Plan, Notes, Schedules and Details
A-9 General Notes and Title 24



ADDITION WORKSHEET - COMPUTER PERFORMANCE		Page 1	ADD
Project Title..... Schwartz/Conlon Res./Ad'n		Date.....	04/28/99
Project Address..... 2330 Bryant		*****	
Documentation Author..... John Hermannsson		*****	
The Architectural Machine		*****	
810 Bradford Street		*****	
Redwood City, CA 94063		*****	
415-364-8016		*****	
Climate Zone..... 04		*****	
Compliance Method..... MICROPS4 v4.50 for 1995 Standards by Enercomp, Inc.		*****	
MICROPS4 v4.50 File-AISCHWX Program-ADDITIONS		*****	
User-MP0865 User-The Architectural Machine Run-Existing + Addition		*****	

EXISTING		File Name..... AISCHWX		Run Title..... Existing	
Conditioned Floor Area.....		1074 sf			
Standard Design Energy Use.....		23.98 kWh/sf-yr			
Proposed Design Energy Use.....		97.90 kWh/sf-yr			
NEW (EXISTING PLUS ADDITION)		File Name..... AISCHWXN		Run Title..... Existing + Addition	
Conditioned Floor Area.....		1905 sf			
Standard Design Energy Use.....		34.15 kWh/sf-yr			
Proposed Design Energy Use.....		62.53 kWh/sf-yr			
FLOOR AREA RATIO		Floor Area		Area Ratio	
Existing Floor Area.....		New Floor Area.....		Ratio	
1074 /		1905		= 0.564	

ADDITION DESIGN ENERGY USE FOR NEW (EXISTING PLUS ADDITION)		File Name..... AISCHWXN		Run Title..... Existing + Addition	
Conditioned Floor Area.....		1905 sf			
Standard Design Energy Use.....		34.15 kWh/sf-yr			
Proposed Design Energy Use.....		62.53 kWh/sf-yr			
Notes: If (Existing Proposed - Existing Standard) is negative, this difference is set to zero.					
***** ADDITION ENERGY USE SUMMARY *****					
***** Energy Use *****					
***** (1) kWh/sf-yr *****					
***** Design *****					
***** 15.82 *****					
***** Compliance *****					
***** 62.53 *****					
***** 13.28 *****					
***** ** Addition complies with Computer Performance ** *****					

CERTIFICATE OF COMPLIANCE: RESIDENTIAL		Page 1	CF-1R
Project Title..... Schwartz/Conlon Res./Ad'n		Date.....	04/28/99
Project Address..... 2330 Bryant		*****	
Documentation Author..... John Hermannsson		*****	
The Architectural Machine		*****	
810 Bradford Street		*****	
Redwood City, CA 94063		*****	
415-364-8016		*****	
Climate Zone..... 04		*****	
Compliance Method..... MICROPS4 v4.50 for 1995 Standards by Enercomp, Inc.		*****	
MICROPS4 v4.50 File-AISCHWXN kWh-CF264592 Program-FORM CF-1R		*****	
User-MP0865 User-The Architectural Machine Run-Existing + Addition		*****	

GENERAL INFORMATION		Conditioned Floor Area.....		1905 sf	
Building Type.....		Single Family Detached			
Construction Type.....		Existing Plus Addition			
Building Front Orientation.....		Front Facing 45 deg (NE)			
Number of Dwelling Units.....		1			
Number of Stories.....		2			
Floor Construction Type.....		Raised Floor			
Glazing Percentage.....		24.9 % of Floor area			
Average Glazing U-Value.....		0.6 kWh/brd-f			

BUILDING SHELL INSULATION		Component		Frame		Cavity		Sheathing		Assembly	
		Type		R-value		R-value		R-value		Location/Comments	
Wall		Wood		R-85		R-0		0.088			
Roof		Wood		R-13		R-0		0.088			
Floor		Wood		R-0		R-0		0.306			
Roof		Wood		R-30.7		R-0		0.035			
Floor		Wood		R-0		R-0		0.097			
Floor		Wood		R-19		R-0		0.037			
Floor/Ext		Wood		R-19		R-0		0.038			
Door		n/a		R-0		R-n/a		0.330		Solid Wood	

FENESTRATION		Orientation		Area		U-Value		# of Interior		Shading/		Exterior		Overhang/		Framing	
		Type		Value		Value		Value		Value		Value		Value		Value	
Window		Front (NE)		89.5		0.600		2		Draperies, Stg		None		None		Wood	
Window		Left (SE)		117.6		0.600		2		Draperies, Stg		None		None		Wood	
Window		Back (SW)		128.5		0.600		2		Draperies, Stg		None		None		Wood	
Window		Right (SW)		128.5		0.600		2		Draperies, Stg		None		None		Wood	
Window		None		40.2		0.600		2		Draperies, Stg		None		None		Wood	

CERTIFICATE OF COMPLIANCE: RESIDENTIAL		Page 2	CF-1R
Project Title..... Schwartz/Conlon Res./Ad'n		Date.....	04/28/99
Project Address..... 2330 Bryant		*****	
Documentation Author..... John Hermannsson		*****	
The Architectural Machine		*****	
810 Bradford Street		*****	
Redwood City, CA 94063		*****	
415-364-8016		*****	
Climate Zone..... 04		*****	
Compliance Method..... MICROPS4 v4.50 for 1995 Standards by Enercomp, Inc.		*****	
MICROPS4 v4.50 File-AISCHWXN kWh-CF264592 Program-FORM CF-1R		*****	
User-MP0865 User-The Architectural Machine Run-Existing + Addition		*****	

HVAC SYSTEMS		Equipment Type		Minimum Efficiency		Duct Location		Duct R-value		Thermostat Type	
Furnace		0.800 AFUE		Crawlspace		R-4.2		Setback			
AC/Spilt		10.00 SEER		Crawlspace		R-4.2		Setback			
WATER HEATING SYSTEMS		Number		Tank		External		Insulation		R-value	
Tank Type		Heater Type		Distribution Type		System		Factor		Type	
Storage		Gas		Recirc/Timer		1		0.53 EF		R-12	

PROPOSED FURNACE:	
BRYANT ST&CON C46036 : OUTPUT = 71,000 BTUH : EFF. = 80% AFUE.	

CERTIFICATE OF COMPLIANCE: RESIDENTIAL		Page 3	CF-1R
Project Title..... Schwartz/Conlon Res./Ad'n		Date.....	04/28/99
Project Address..... 2330 Bryant		*****	
Documentation Author..... John Hermannsson		*****	
The Architectural Machine		*****	
810 Bradford Street		*****	
Redwood City, CA 94063		*****	
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Climate Zone..... 04		*****	
Compliance Method..... MICROPS4 v4.50 for 1995 Standards by Enercomp, Inc.		*****	
MICROPS4 v4.50 File-AISCHWXN kWh-CF264592 Program-FORM CF-1R		*****	
User-MP0865 User-The Architectural Machine Run-Existing + Addition		*****	

COMPLIANCE STATEMENT		This certificate of compliance lists the building features and performance specifications needed to comply with Title-24, Parts I and 6 of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility. When this certificate of compliance is submitted for a single building plan to be built in multiple orientations, any shading feature that is varied is indicated in the Special Features/Remarks section.	
DESIGNER OR OWNER		DOCUMENTATION AUTHOR	
Name..... Robert Wylie, Architect		Name..... John Hermannsson	
Company..... 2013 Goodwin Avenue		Company..... The Architectural Machine	
Address..... Redwood City, CA 94061		Address..... 810 Bradford Street	
Phone..... (650)261-1189		Phone..... Redwood City, CA 94063	
License.....		License..... 415-364-8016	
Signed..... (date)		Signed..... (date)	
ENFORCEMENT AGENCY		Name.....	
Title.....		Title.....	
Agency.....		Agency.....	
Phone.....		Phone.....	
Signed..... (date)		Signed..... (date)	

- Special Allowances**
- Division 1: General Requirements
- A. General Notes**
- Contract to be signed on AIA form A105 "Owner-Contractor Agreement--Small Projects Edition", with AIA document A-205 "General Conditions of the Contract for Construction of a Small Project" and are hereby made a part of these plans and specifications.
 - The contractor shall visit the site and become familiar with all conditions prior to submitting their proposal. Contractor and/or sub-contractors shall verify all dimensions and conditions shown on these drawings with those at the site. Any variation which requires physical change shall be brought to the attention of the Owner and Architect.
 - All reasonably referred or inferred items shall be performed, as if specifically defined, to the satisfaction of the Architect.
 - Engineers Specifications take precedence over the following architectural specifications, if applicable.
 - Trade names and manufacturers referred to are for quality standards only. Specifications changes will be permitted as approved by the Owner and Architect..
 - The contractor shall be responsible for the satisfactory completion of all work in accordance with the project plans and specifications.
 - Vaulted ceilings shall be provided with a vapor barrier beneath the insulation.
 - Water heater shall be strapped for seismic load. See detail.
 - Water heater shall be insulated as per CEC.
 - Contractor to provide Owners with waivers of lien from all subcontractors of labor and/or materials, prior to payment.

- B. Temporary Conveniences**
- The general contractor shall provide suitable temporary conveniences for the use of all workers on this job. Facilities shall be within a weather tight, painted enclosure complying with legal requirements. The general contractor shall maintain all temporary toilet facilities in a sanitary condition.
 - C. Insurance, Safety, And Protection**
 - The Contractor alone is responsible for job site safety. On site observation of the Construction by the Architect is to determine conformance with the plans and specifications. It does not encompass safety procedures or operations. The Work shall be protected by a 6 foot high lockable fence for the duration of the work. Fence shall secure work area of project. Provide 2 keys to owners and 1 key to Architect.
 - All existing plantings, fences, and like items shown on the Drawings, that are to remain shall be protected from damage or if damaged, shall be restored or replaced to the condition existing before the damage occurred. Verify with owners which plants to remain or to be protected. Contractor to provide owner with on site water at all times to irrigate exist. plants. This will be done by the owners or their gardener.
 - The contractor shall be responsible for damage due to bad weather and shall make all corrections to this damage at no added cost to the architect or owner.
 - The general contractor shall protect all existing driveways, parking areas, sidewalks, curbs, and existing paved areas on, or adjacent to, the owner's property. The contractor shall replace all damaged property to the state that existed before the damage.
 - The contractor shall carry Builders Insurance to cover the cost of this work and all coverage as defined in Article 11 of the general conditions, or as required by the City of Palo Alto. The owner and City shall be presented with certificate of Contractor's insurance and Workman's compensation insurance prior to commencing work. Present Owner with a copy of current Contractor's License.

- D. Pumping**
- The general contractor shall keep the excavation free from water at all times and shall provide, maintain, and operate at his own expense such pumping equipment as shall be necessary.
 - E. Grades, Lines, Levels, And Surveys**
 - The owner shall establish the lot lines if required by title.
 - The general contractor shall:
 - Establish and maintain bench marks.
 - Verify all grades, lines, levels, and dimensions as shown on the drawings, and report any errors or inconsistencies before commencing work. Verify the location of the Garage and whatever grade changes are necessary to arrive at existing sidewalk height and provide proper drainage from driveway and sidewalks.
 - Lay out the building accurately.

- F. Final Cleaning**
- The contractor shall maintain the site clear of trash and debris. All waste materials shall be removed from the site prior to substantial completion and final acceptance. The contractor shall present the building to the owner for acceptance, clean and ready for occupancy. All glass shall be cleaned, floors swept broom clean, fixtures washed with all labels removed, and exterior hand-raked free of debris.
 - In addition to the general room cleaning, the general contractor shall do the following special cleaning upon completion of the work:
 - Wash and polish all glass and cabinets.
 - Clean and polish all hardware.
 - Remove all marks, stains, fingerprints, and other soil or dirt from walls, woodwork, and floors.

- G. Guarantees**
- The general contractor shall guarantee all work performed under the contract against faulty materials or workmanship. The guarantee shall be in writing. In case of work performed by subcontractors where guarantees are required, the general contractor shall secure written guarantees from those subcontractors. Copies of these guarantees shall be delivered to the owner upon completion of the work. Guarantees shall be signed by both the subcontractor and the general contractor. All Guarantees shall be good for the duration of one year from final completion of project, unless otherwise noted.

- H. Codes And Workmanship**
- All work shall comply to latest editions of state and local codes and ordinances and shall be done to the highest standards of craftsmanship by journeymen of the respective trades. In General, current edition of 1994 U.B.C. to be in effect.

- I. Ventilation**
- Location of Foundation vents to conform to UBC Section 2516-C. Center vents under windows where possible or where shown on drawings.
 - Provide under roof cross ventilation at the rate of 1/150 of the attic area, per UBC 3505-C 1/300 for cathedral ceilings with vapor barriers.
 - Bathrooms with or without operable windows shall be mechanically ventilated.
 - Sleeping rooms to be naturally ventilated with clear open area not less than 5% of the floor area of the room.

- J. Access**
- Provide 18" min. by 24" min. access to all foundation spaces as per Sec. 2516(c) 2, U.B.C.. Provide 1 access within 20' of bathroom and kitchen plumbing.
 - Provide 22" min. by 30" min. access to all attic spaces with 30" clear ht. or more per UBC. Sect. 3205-A. Reuse Existing Attic access in den closet.

- K. Fire Protection**
- All garage walls and ceiling common with house of supporting living area above to be 1 hour construction. 5/8 type "X" gypsum board minimum. Doors from garage to house to be 1 hour rated with self-closing device and weather stripping.
 - Provide single station smoke detectors mounted on ceiling in all rooms used for sleeping purposes. Smoke detectors shall receive their primary power from the building wiring. Wiring shall be permanent and without a disconnection switch other than those required for overcurrent protection. Detectors to be interconnected, and integrated into the security system.
 - Provide 6" min. clearance on sides and back of furnace.
 - Top of fireplace chimneys to extend 2 feet min. above any roofing material within 10 feet (measured horizontally) of chimney.

- L. Bathrooms**
- Water closet to have a min. clear stall space of 30" and a min. clear space of 24" in front.
 - Showers to have a minimum area of 1024 S.I. and a minimum clear horizontal dimension of 30" measured at a point 7" above the drain. Water resistant gyp. bd. (all edges sealed), or approved equal required behind finish material to a height of 70" above drain.
 - Install tub with full mortar set tile surround.

- O. Performance**
- Provide fabricators certificate for Glu-lam beams to building department for review and approval at time of delivery and prior to installation. UBC section 2510
 - All hardwood flooring to be installed in accordance with the latest NOFMA specification and recommendations.
 - All tile work to be installed in accordance with the latest Tile Council of America specifications and recommendations.
 - All plumbing work shall comply with the UPC latest edition, safety orders of the State of California and all local codes and ordinances.
 - All heating and ventilation work shall comply with applicable codes and the recommended practices of ASHRAE & SMACNA
 - All electrical work shall conform to the latest national electrical code and all other codes and requirements.

- P. Toxic Material Removal (if required)**
- All handling and removal of toxic material to be done by a certified toxic waste contractor. Certification to be done by the state of California and registered with the local building official.