

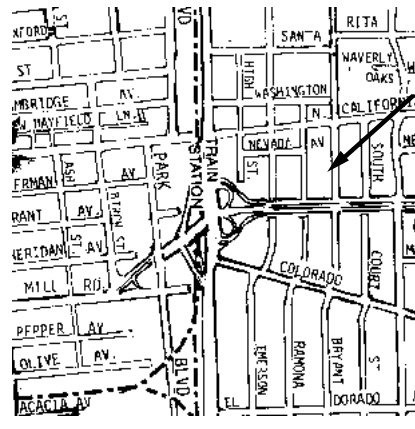
## Site Information

Area of Site: 5,625.0 S.F.  
35% of Site: 1968.75 S.F. - Proposed 1735.5 S.F.

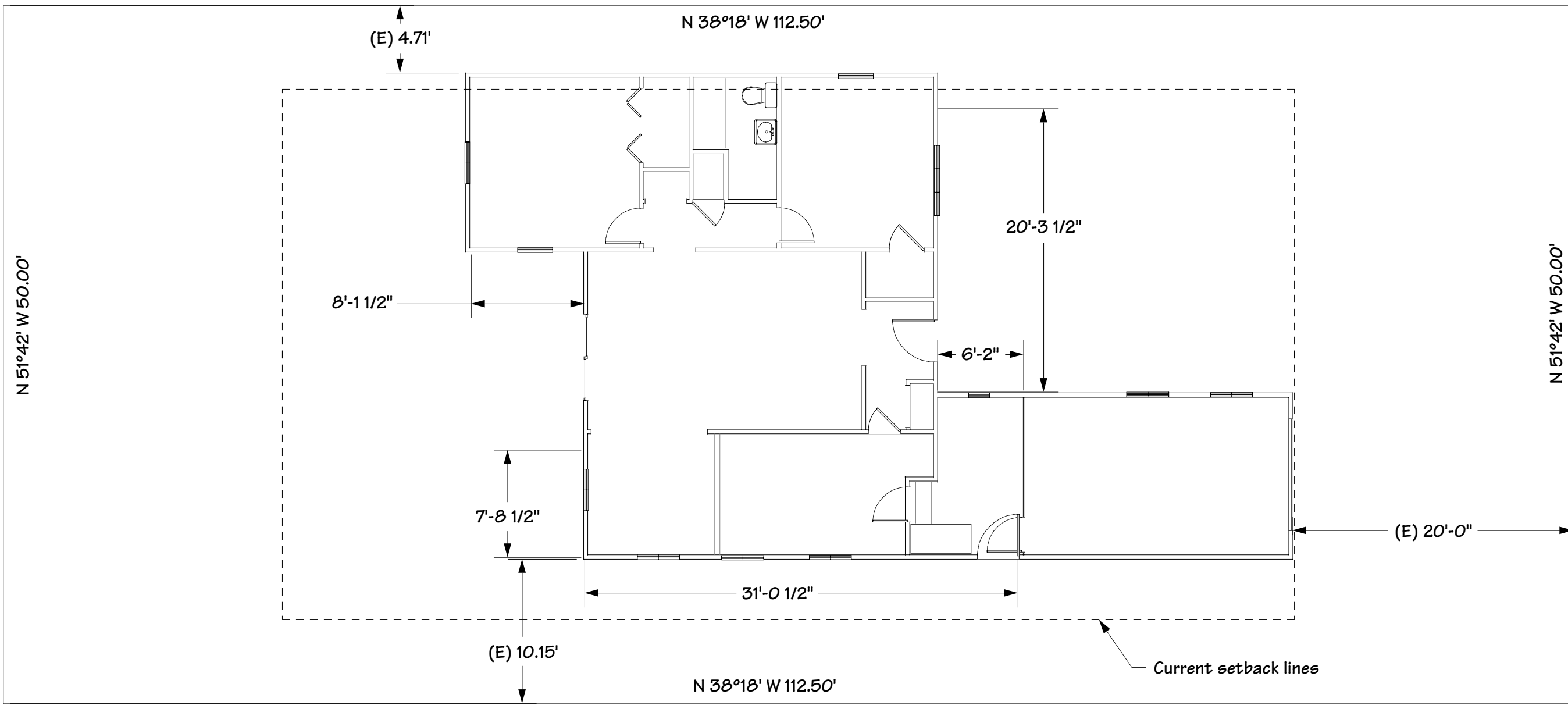
Area of Exist Building : 1,283.0 S.F.  
Area of Addition @ Grade : 468.5 S.F.  
Perimeter of (E) Bldg.: 189.0 L.F.  
Total linear feet removed from (E) Bldg. 73'-4" < 50%

F.A.R. (Allowed)  
45% of first 5,000 S.F. of site: 2,250.0 S.F.  
30% of 625 S.F.: 187.5 S.F.  
Total S.F. of F.A.R. allowed 2,437.5 S.F.  
Proposed:  
Total Area of house @ Grade 1751.5 S.F.  
Area of second floor 386 S.F.  
Area of 2nd Floor Roof equivalent 30.5 S.F.  
Total Area for F.A.R. 2168.5 S.F.

Area of Front Porch (under 30" from grade) 135.0 S.F.  
open on three sides



Location Map  
No Scale



### Demolition Notes-General

#### Scope:

- The intent of the demolition, is to bring the (E) building down to the (E) studs foundation and floor framing. Then, interior and exterior walls are to be removed as required to do the work. Note: Dimensioned walls are the only exterior walls to be removed. Demolition includes removal and proper disposal of all debris. The following list indicates work to be done for demolition, but not limited to the following items:
1. Remove all (E) windows and doors and all exterior Stucco to grade.
  2. Remove all (E) 1x sheathing and all siding nails.
  3. Remove all (E) interior doors, cabinet work, finishes, plumbing fixtures and water and soil lines, and all electrical wiring and boxes.
  4. Remove all (E) heating ducts, furnace, and registers.
  5. Remove all (E) shingles, gutters and downspouts, roof rafters and (E) ceiling joists as required.
  6. Openings are to be broken into the (E) foundation to allow for access ways and heating duct work.
  7. Demolish exist. garage slab and driveway
  8. Demolish existing porches, patios and foundations as required.
  9. Wrap the trunks of all (E) trees to remain with 2x material to protect the trunks from demolition and the construction process.
  10. Do not stack construction materials, equipment, waste, or excavated material in the area marked "Organic Garden Area"

### Toxic Materials Removal (if required)

Contractor to arrange for an inspection of the (E) residence prior to demolition for the existence of any toxic materials, to be done by a certified toxic waste inspector. All handling and removal of toxic material to be done by a certified toxic waste contractor. Certification to be done by the state of California and registered with the local building official.

### Legend - Switches and Outlets/Mec.

	GFI	Ground Fault Interrupter
	Art	Recessed wall outlet for artwork locate exactly with owners
		Duplex outlet- locate 6'-0" c.c. 6'-0" max from end of wall space
	220	220V outlet
	\$	Single Pole switch
	\$ Dim.	Single Pole switch - Dimmer
	\$ T	Timer Switch
	\$ 3	Three Way Dimmer Switch
	\$ 4	Fourway way -switch
	▼	Telephone
	SA	Smoke Alarm
	TV	Coaxial Cable
	WR GFI	Water Resistant outdoor outlet
		Ground Fault Interrupter
		Junction Box
	Data	Computer Connections

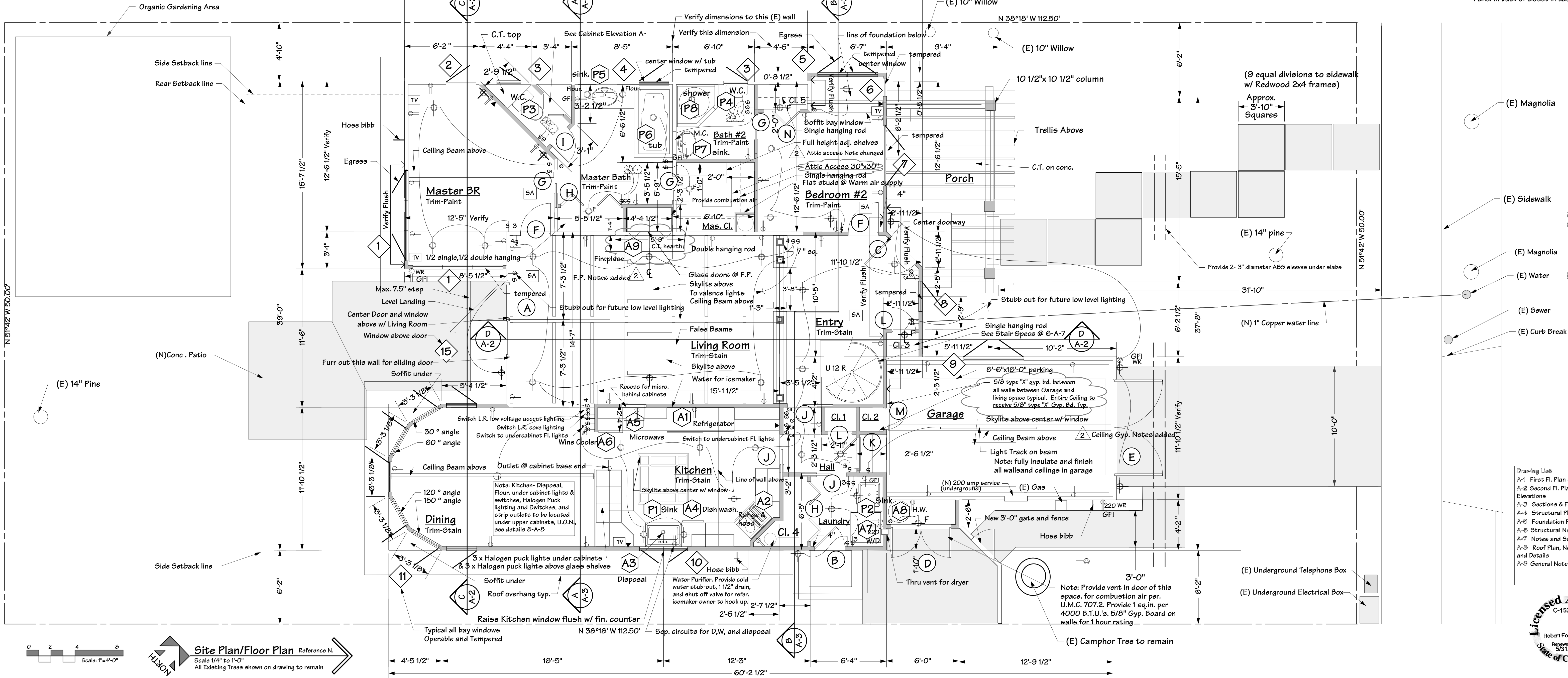
### Legend - Lighting

	H	Halo Halogen recessed down lite. w/ White Collex baffle trim
	F	Flour. Closet Light Surface mount
		Halo H7T w/ White trim 75 W
		Wall mount light fixture
		Halo H7T w/ White trim wall washer 75 W
		Combo. Fan/light Nutone or equal Owners to approve
		Recessed Incd. Light Halo H7T w/ White Collex baffle trim 75 W (Provide sloping trim and cans in cathedral ceilings)
	Flour.	Halo H7T w/ White Collex baffle trim Flour. Light
		L651 (4')(4'), L652 (8')(8'), L653 (12')(12') Light-trac raceways Miniature w/ Live end connectors Bronze finish. Owners to approve, contractor to install.

#### Electrical Notes:

- ◇ Provide CatV LAN Computer Network to locations as shown. Home-run all Locations to Panel in back of closet in Laundry Room.
- ◇ Provide Stereo Speaker Wire to seven locations as designated by owner. Home-run all wires to mixer box as directed by Owner. Owner to provide in wall speakers, Contractor to install.
- ◇ Provide hard wired security system to all operable doors, windows, and skylites.
- ◇ Provide 2" dia. ABS conduit from crawl space to attic in duct chase for future communications needs.
- ◇ Provide Coaxial cable to attic for future Owner installed T.V. antennae. Home-run all T.V. coaxial Locations to Panel in back of closet in Laundry Room.

Location Map  
No Scale

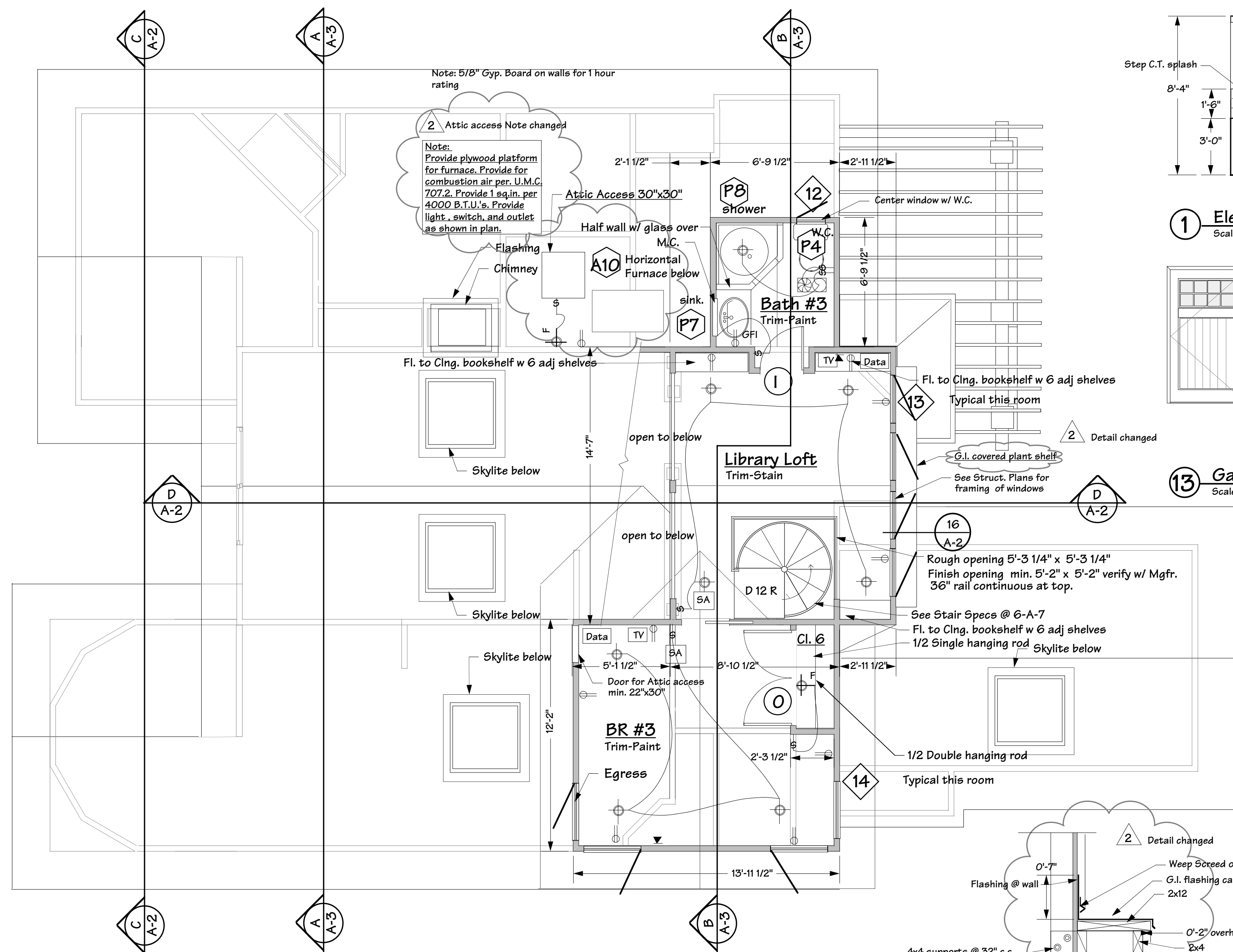


Site Plan/Floor Plan  
Scale 1/4\"/>

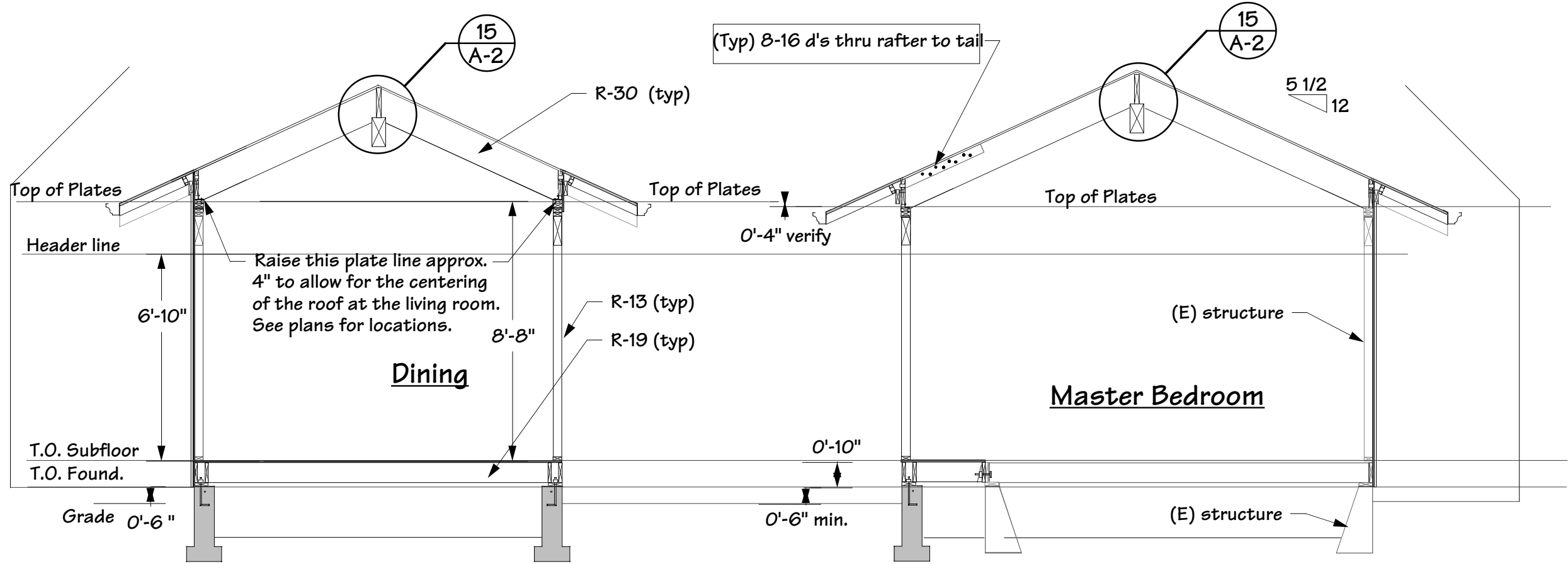
Note: Site Plan information based on site survey prepared by A.C.&H Civil Engineers Lic. #18925, Drawing99-206, 12/98

Drawing List:
A-1 First Fl. Plan & Notes
A-2 Second Fl. Plans & Interior Elevations
A-3 Sections & Elevations
A-4 Structural Plans & Details
A-5 Foundation Plans & Details
A-6 Structural Notes & Details
A-7 Notes and Schedules
A-8 Roof Plan, Notes, Schedules and Details
A-9 General Notes and Title 24

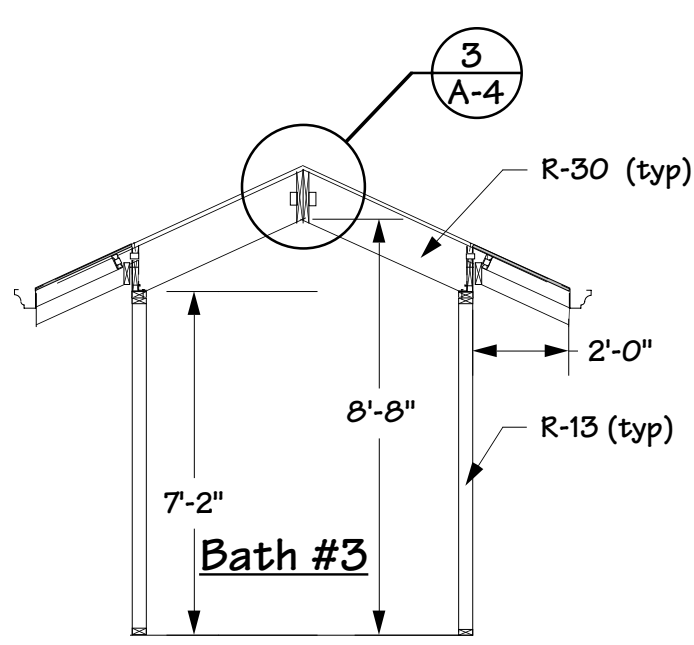




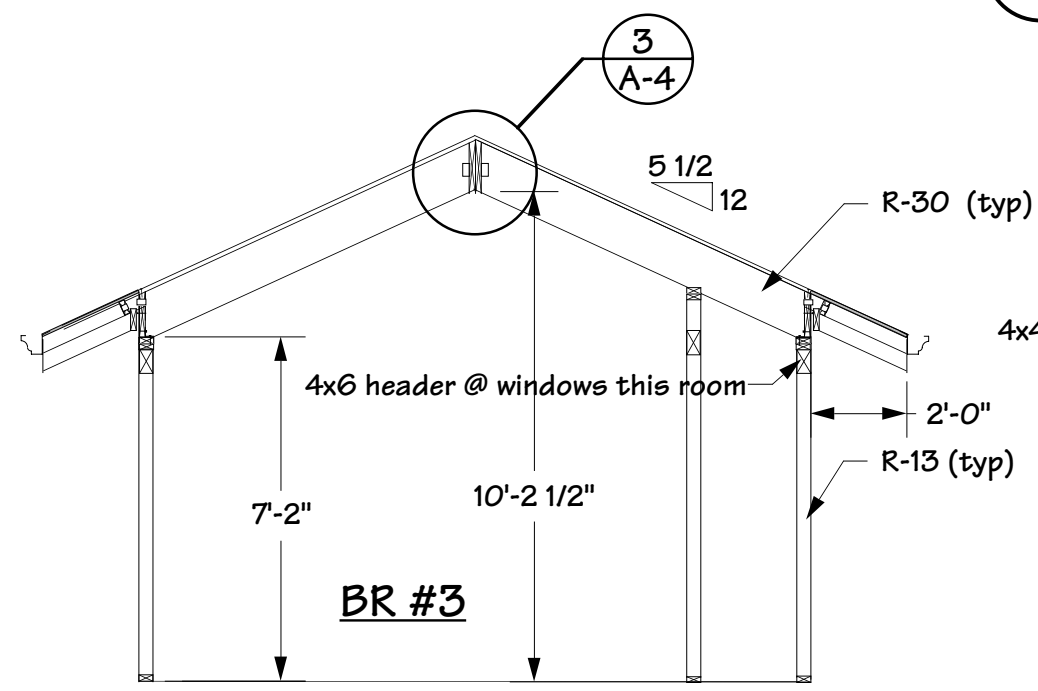
Second Floor Plan/Lower roof plan  
Scale 1/4" to 1'-0"  
Reference N.



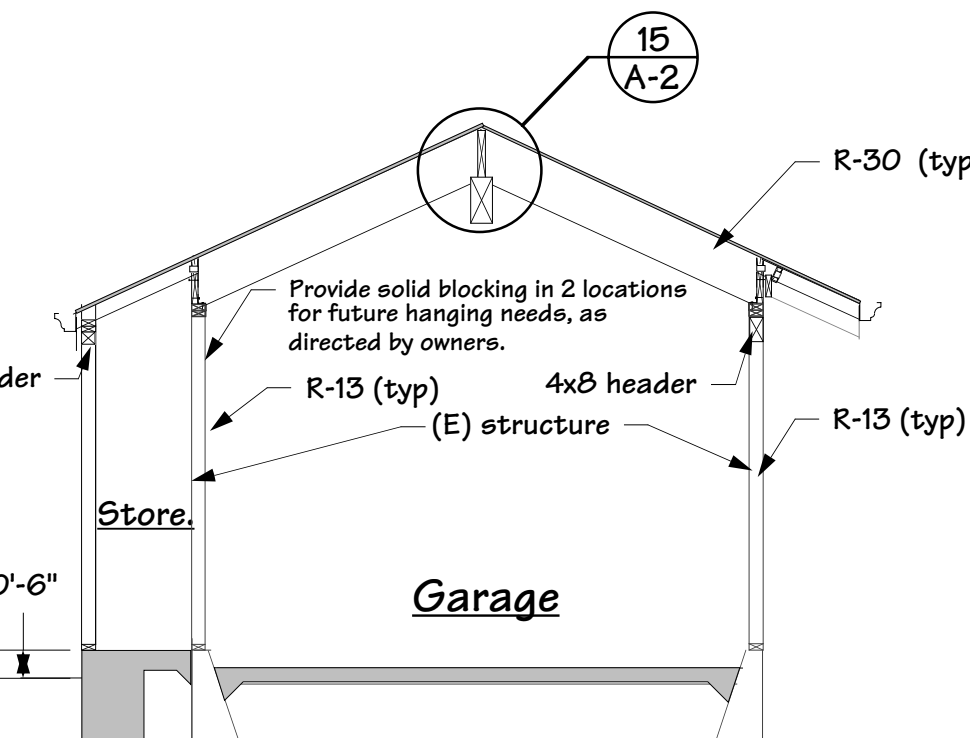
Section Dining Room  
Scale 1/4" to 1'-0"



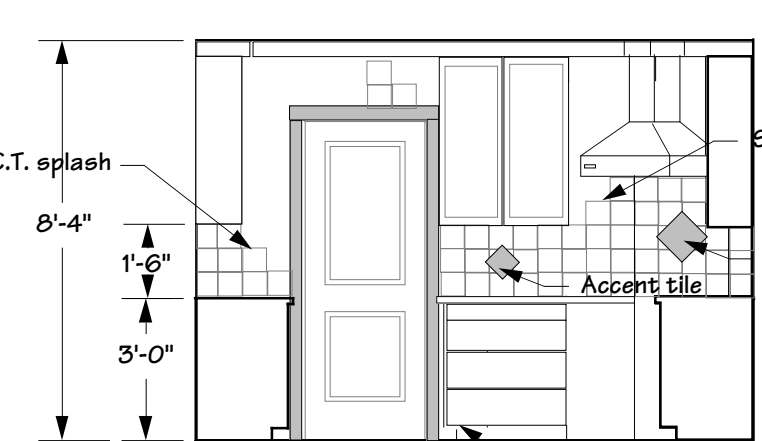
Section Bath #3  
Scale 1/4" to 1'-0"



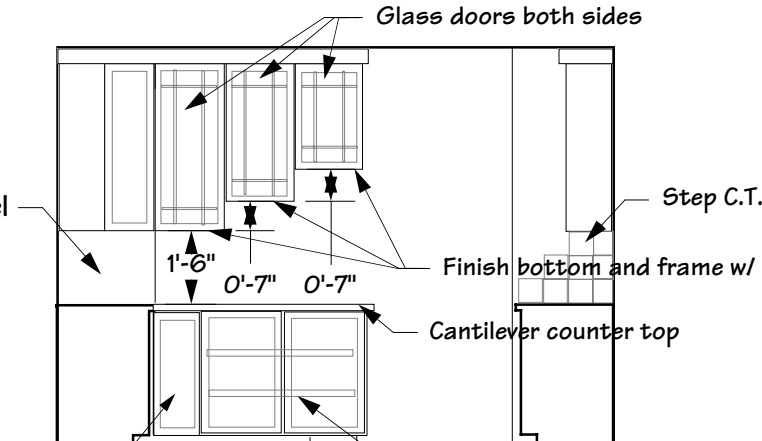
Section Bedroom #3  
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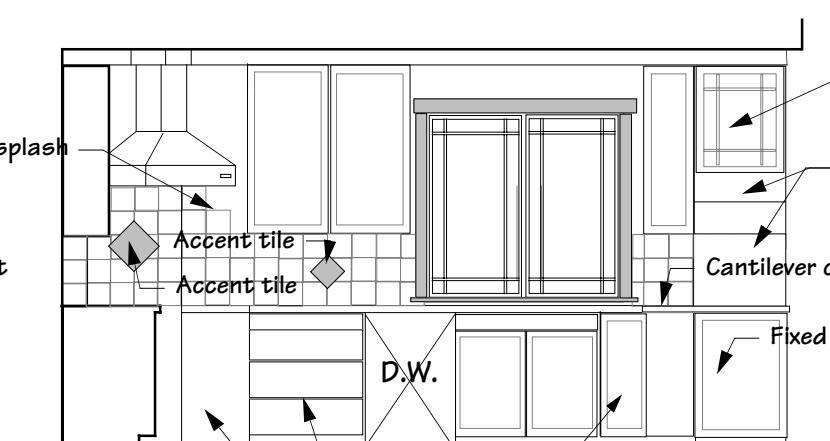
Section @ Garage  
Scale 1/4" to 1'-0"



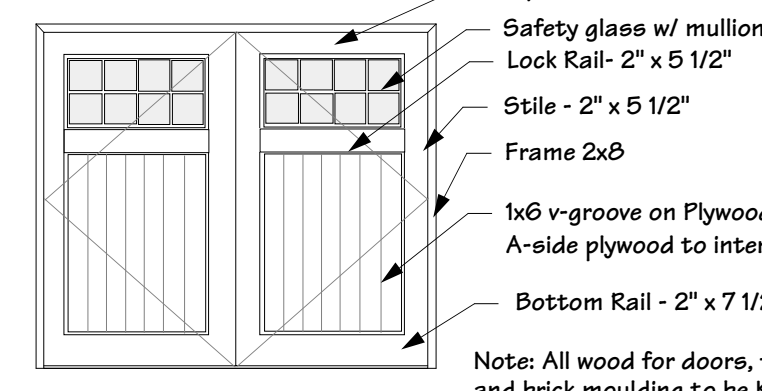
Elevation towards Laundry Room  
Scale 1/4" to 1'-0"



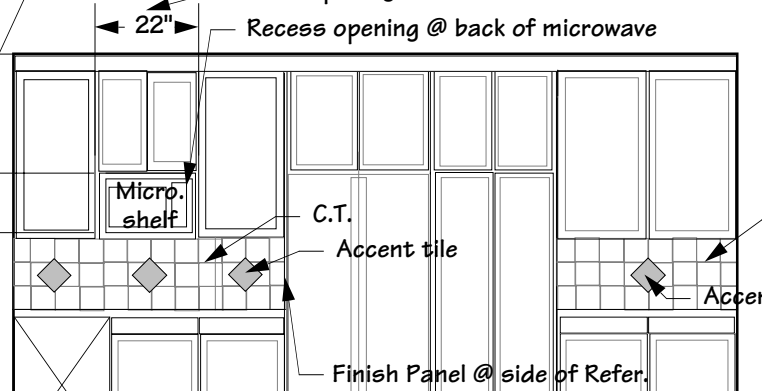
Elevation towards Dining Room  
Scale 1/4" to 1'-0"



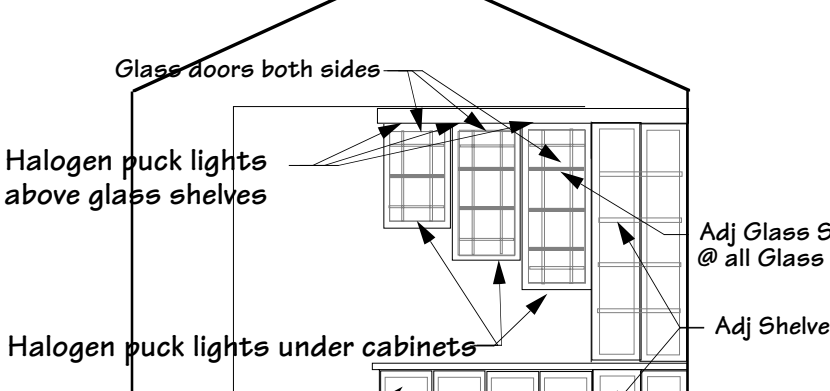
Elevation towards Sink  
Scale 1/4" to 1'-0"



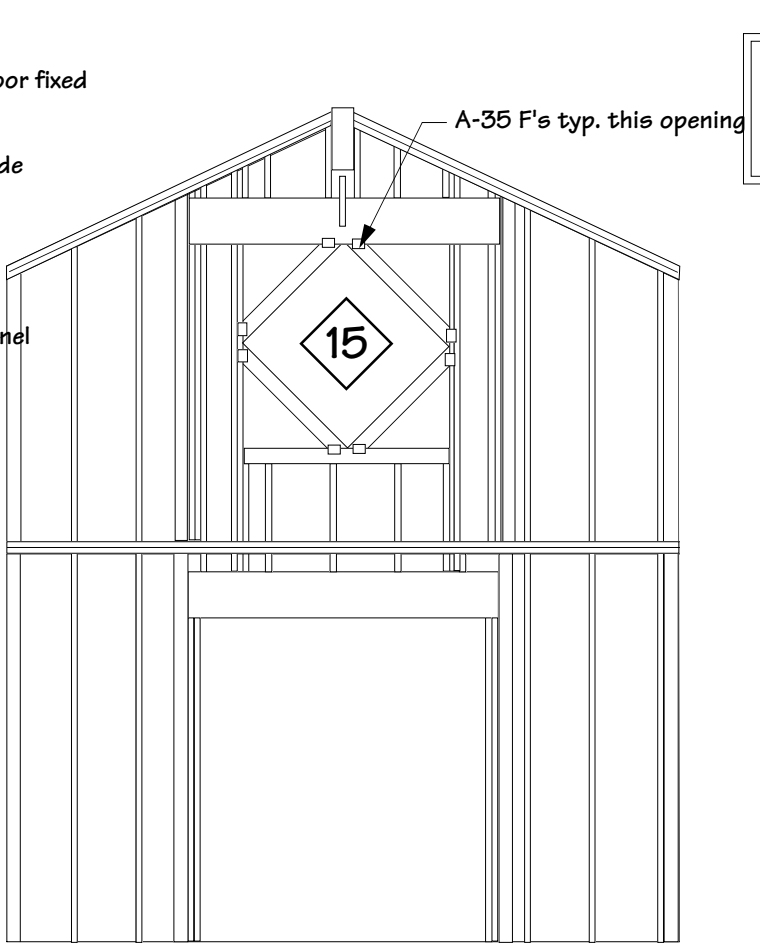
Garage Doors  
Scale 1/4" to 1'-0"



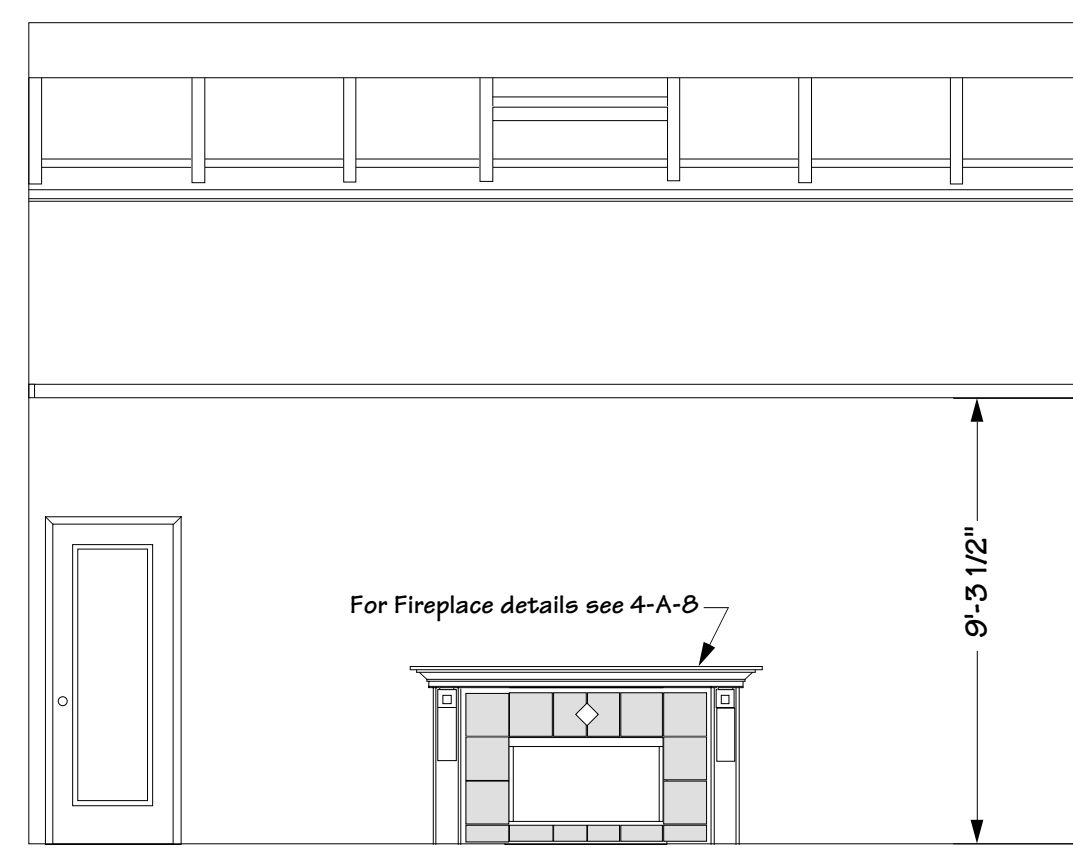
Elevation Towards Refrigerator  
Scale 1/4" to 1'-0"



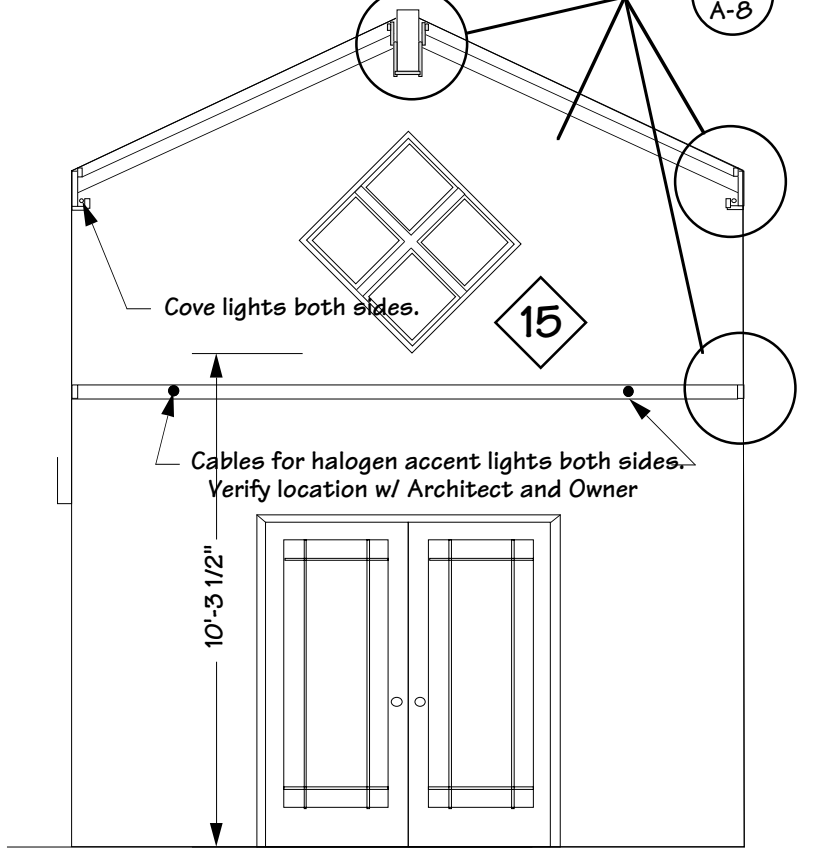
Elevation from Dining Room  
Scale 1/4" to 1'-0"



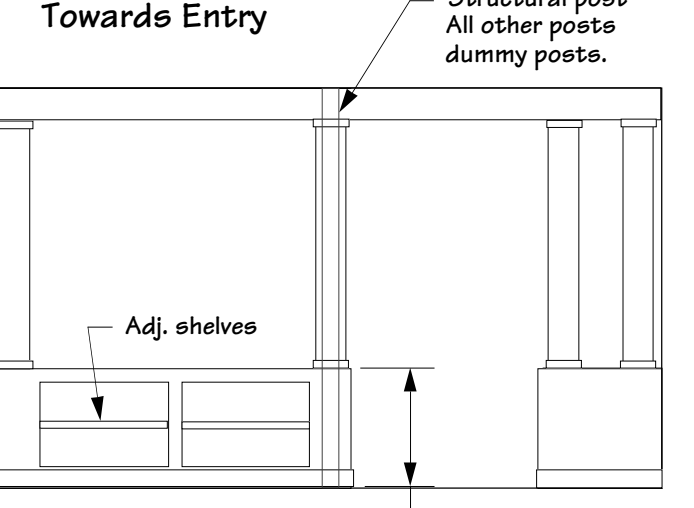
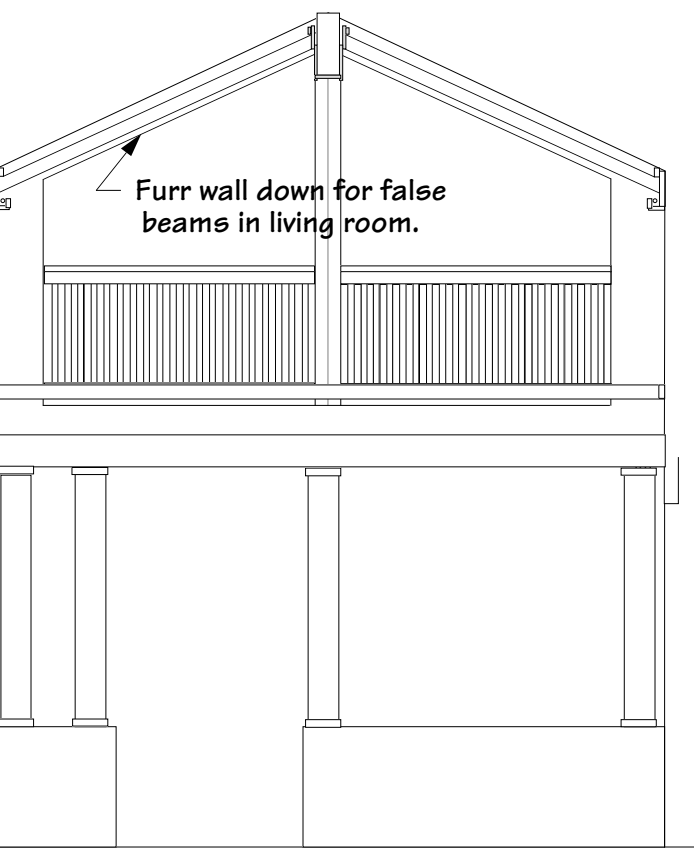
Living Room Framing Elevation  
Scale 1/4" to 1'-0"



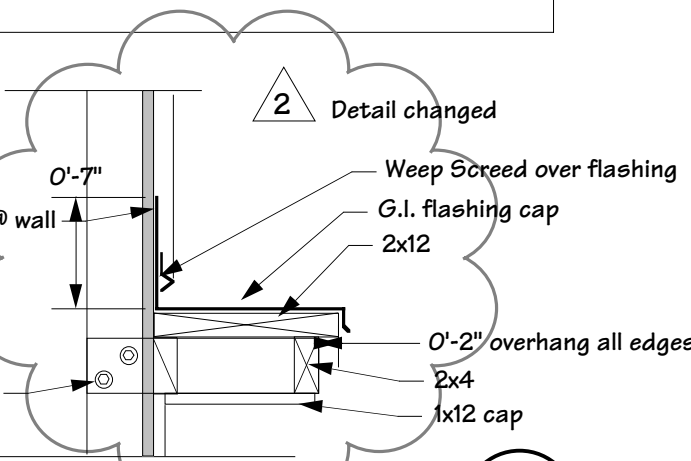
Living Room Elevations  
Scale 1/4" to 1'-0"



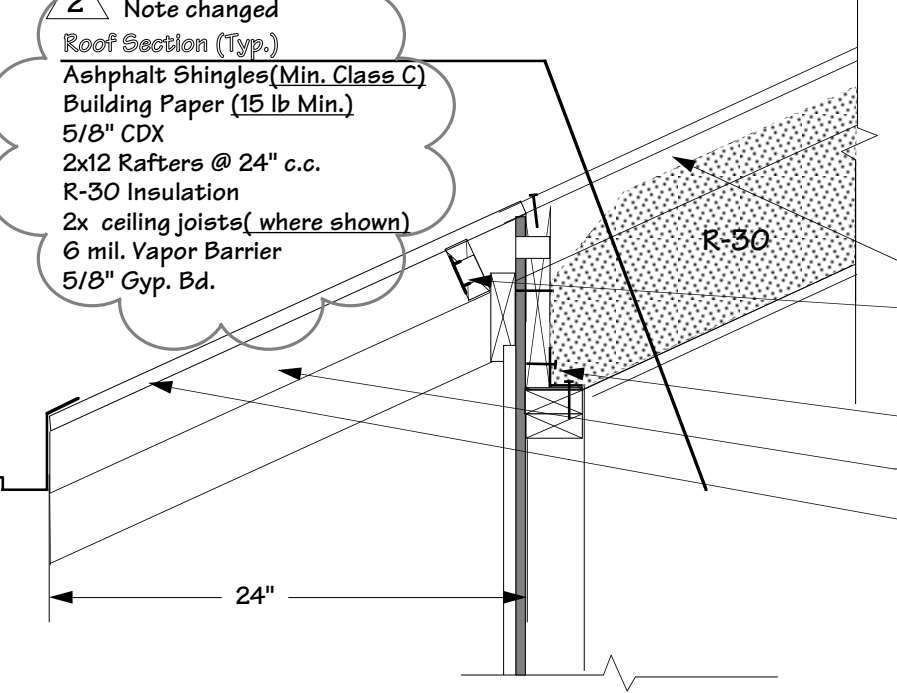
Typical Cathedral Ridge Condition (1st Fl.)  
Scale 1" to 1'-0"



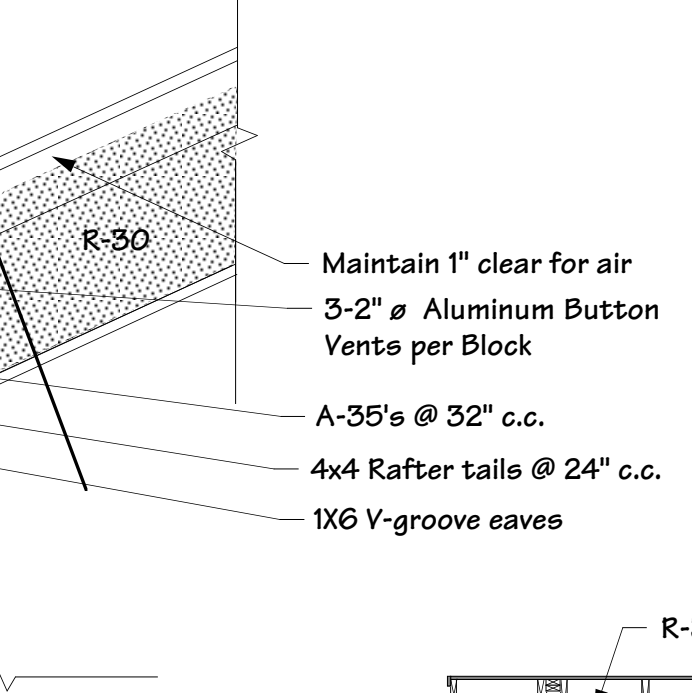
From Entry  
Scale 1" to 1'-0"



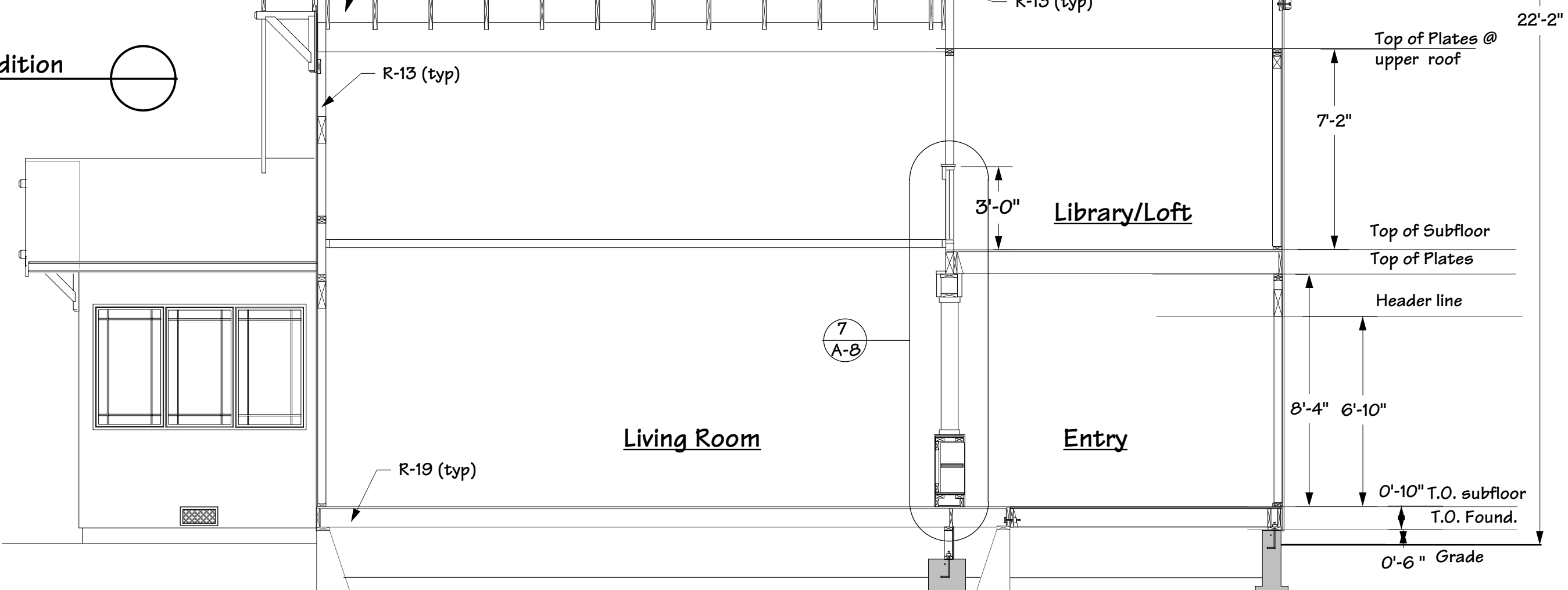
Plant Shelf Detail  
Scale 1" to 1'-0"



Typical Eave Condition  
Scale 1" to 1'-0"

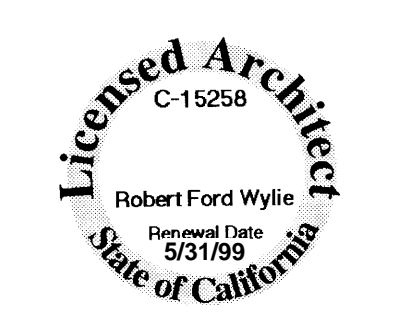


Typical Cathedral Ridge Condition (1st Fl.)  
Scale 1" to 1'-0"

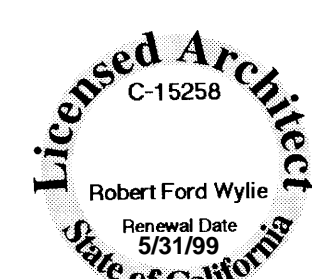


Long. Section Living Room (D-D)  
Scale 1/4" to 1'-0"

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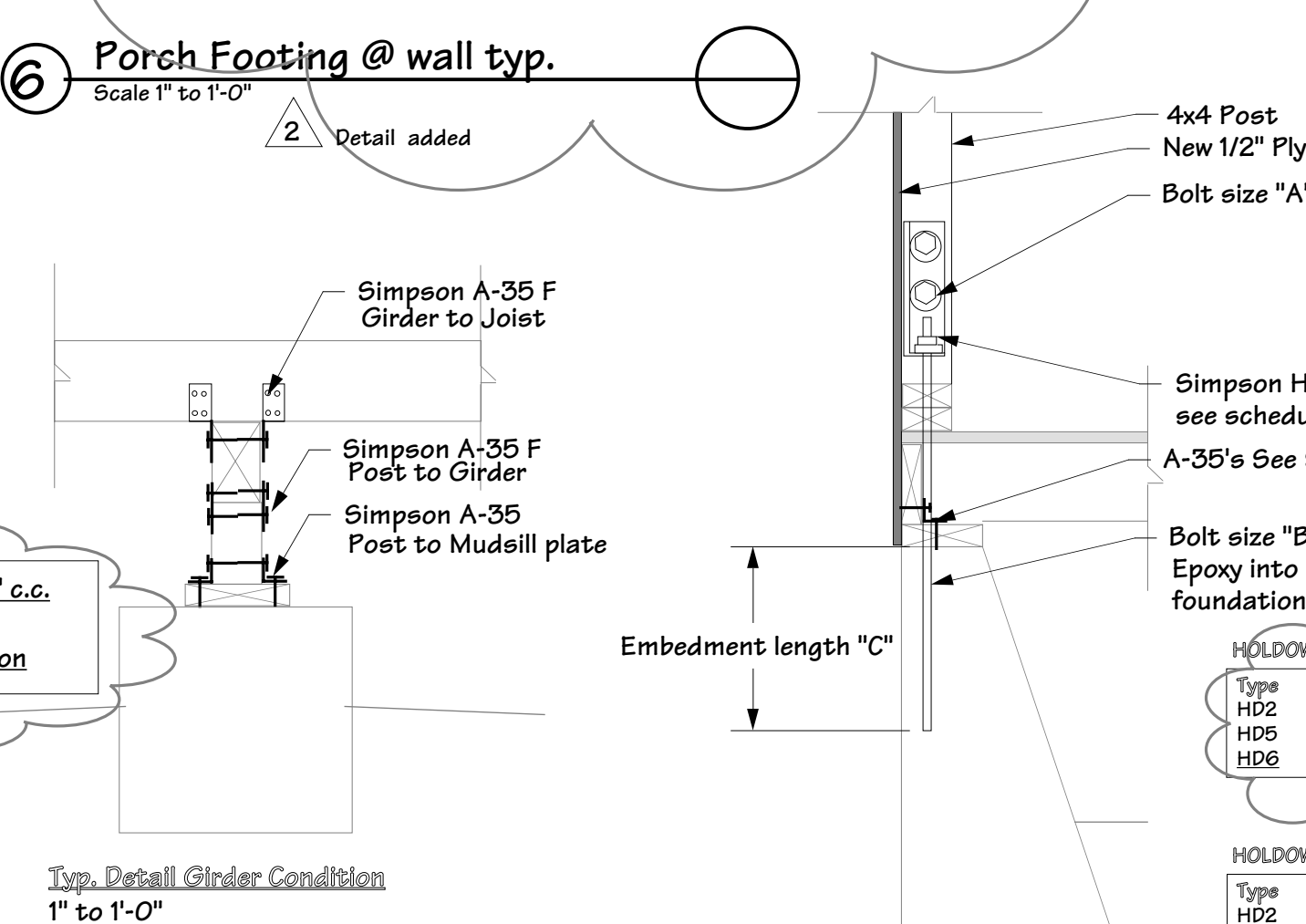
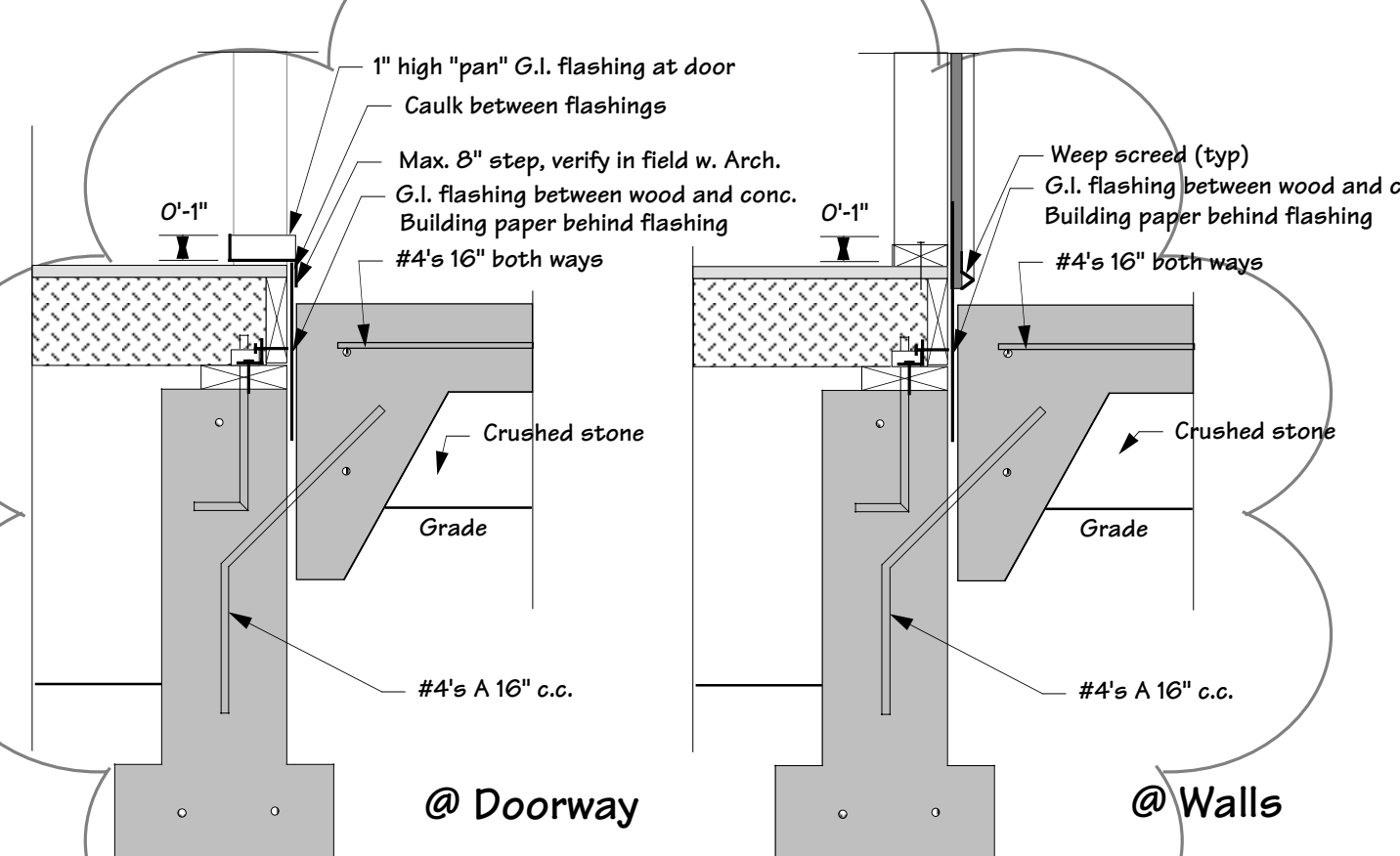
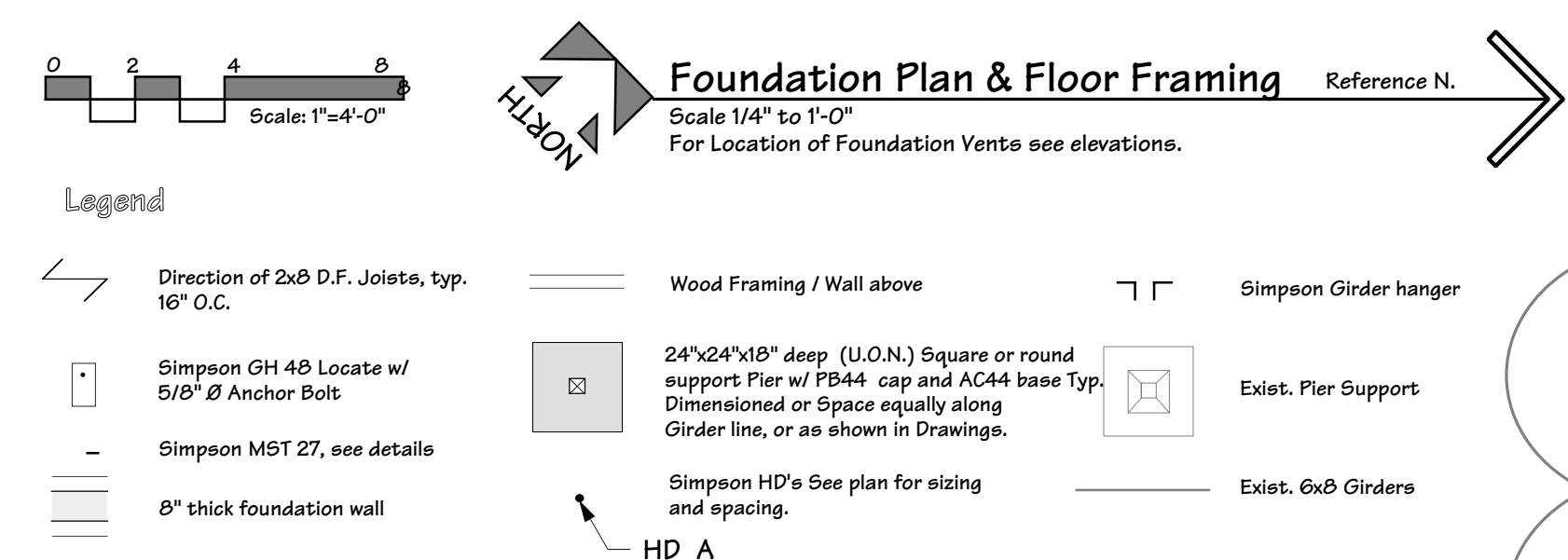
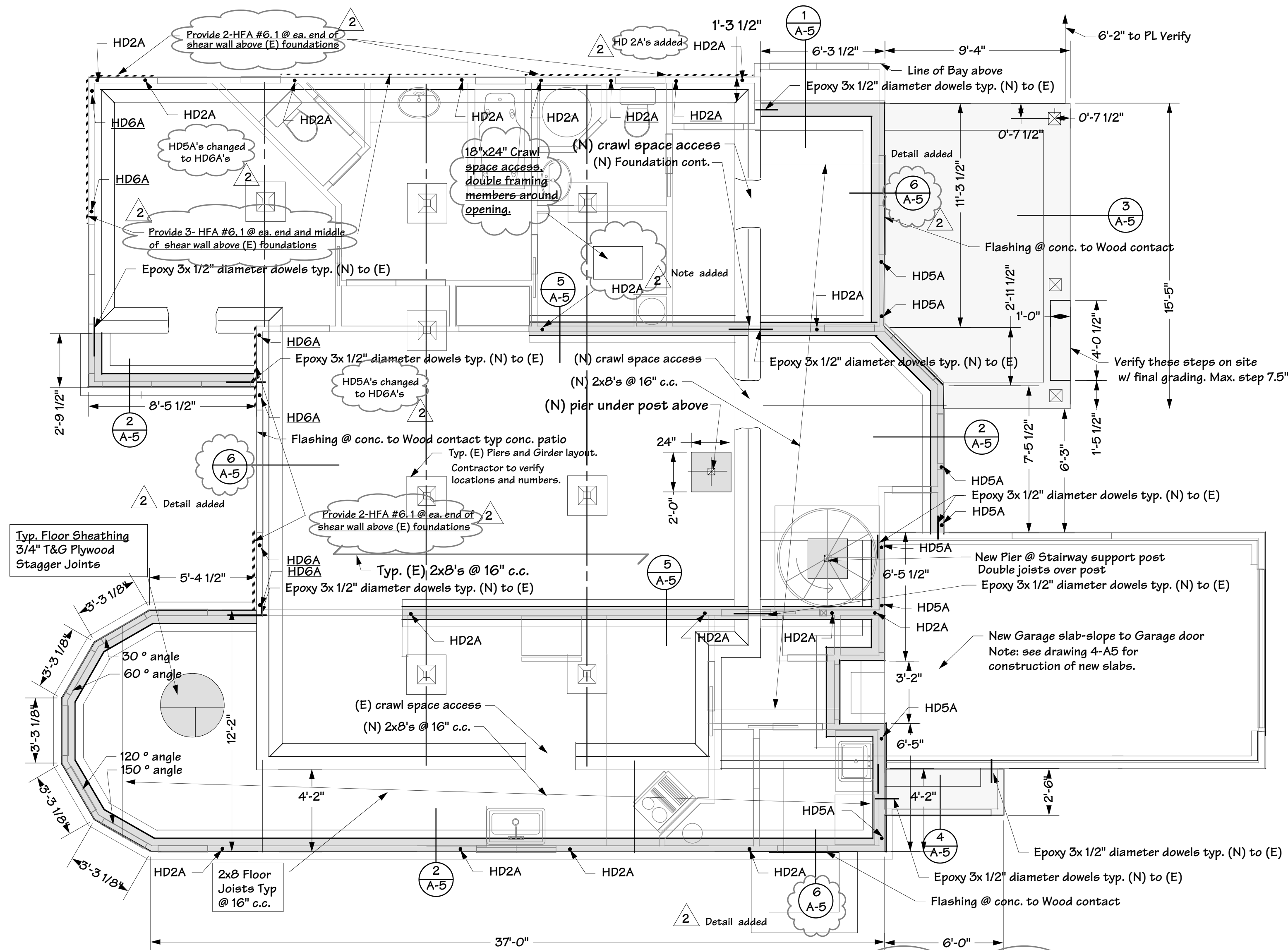












**HOLDOWN SCHEDULE (Epoxy)**

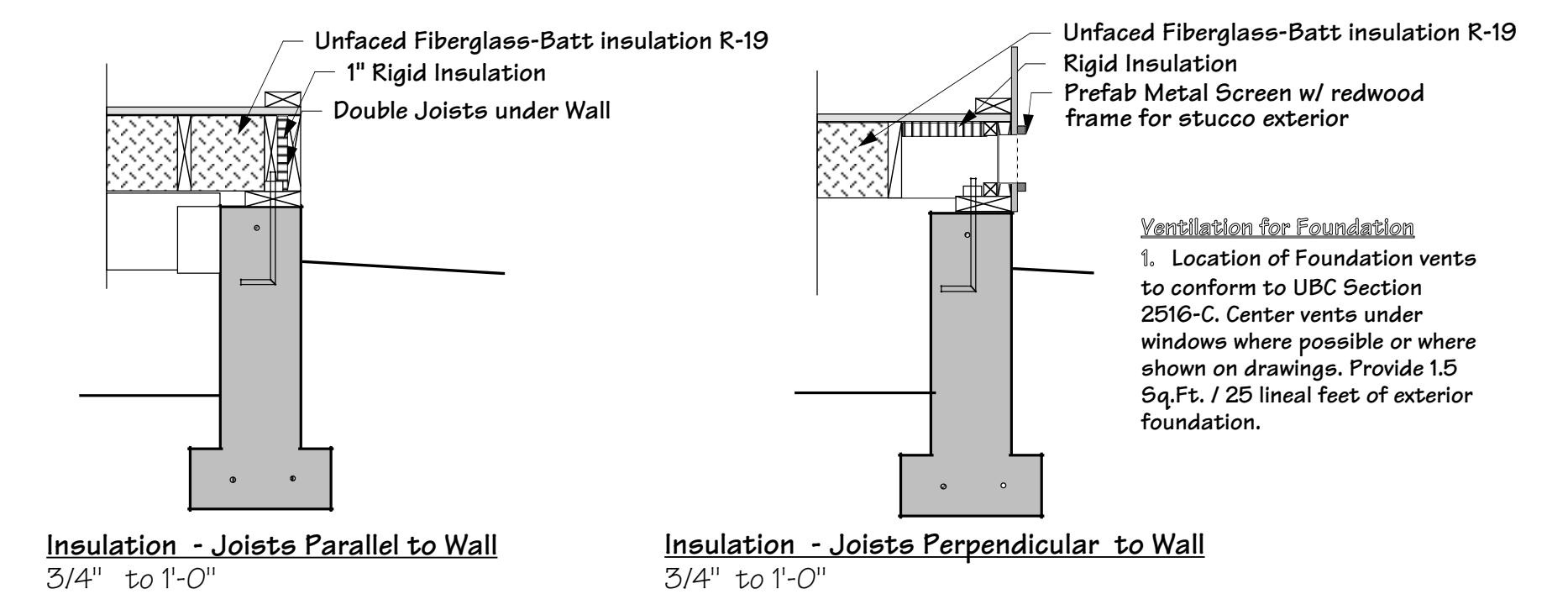
Type	"A"	"B"	"C"
HD2	2-5/8" Ø	3/4" Ø	12"
HD5	2-3/4" Ø	3/4" Ø	15"
HD6	2-7/8" Ø	7/8" Ø	15"

**HOLDOWN SCHEDULE (New)**

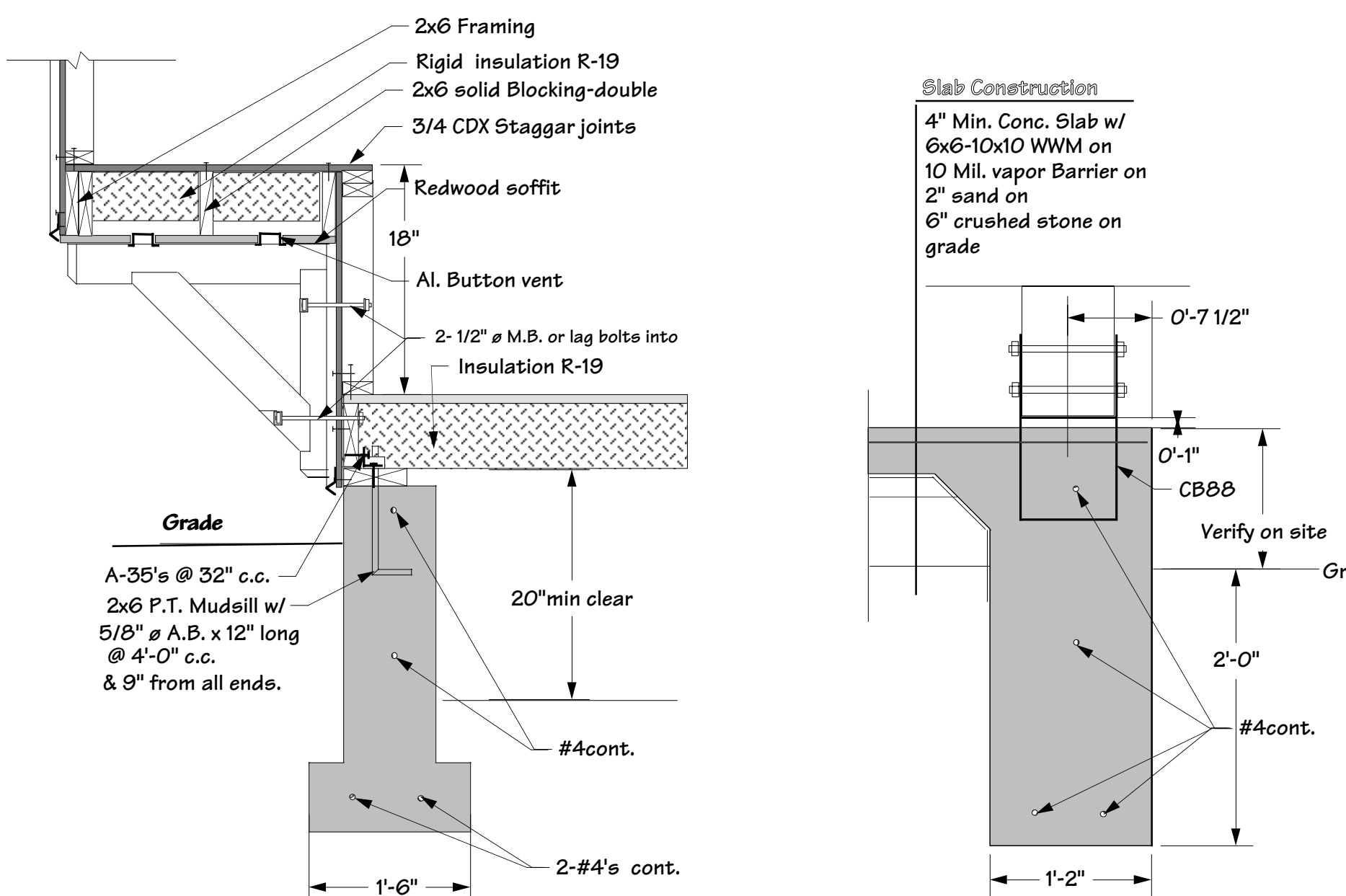
Type	"A"	"B"	Foundation A.B.
HD2	2-5/8" Ø	5/8" Ø	55TB16
HD5	2-3/4" Ø	5/8" Ø	55TB20

# **DIVISION 3: CONCRETE**

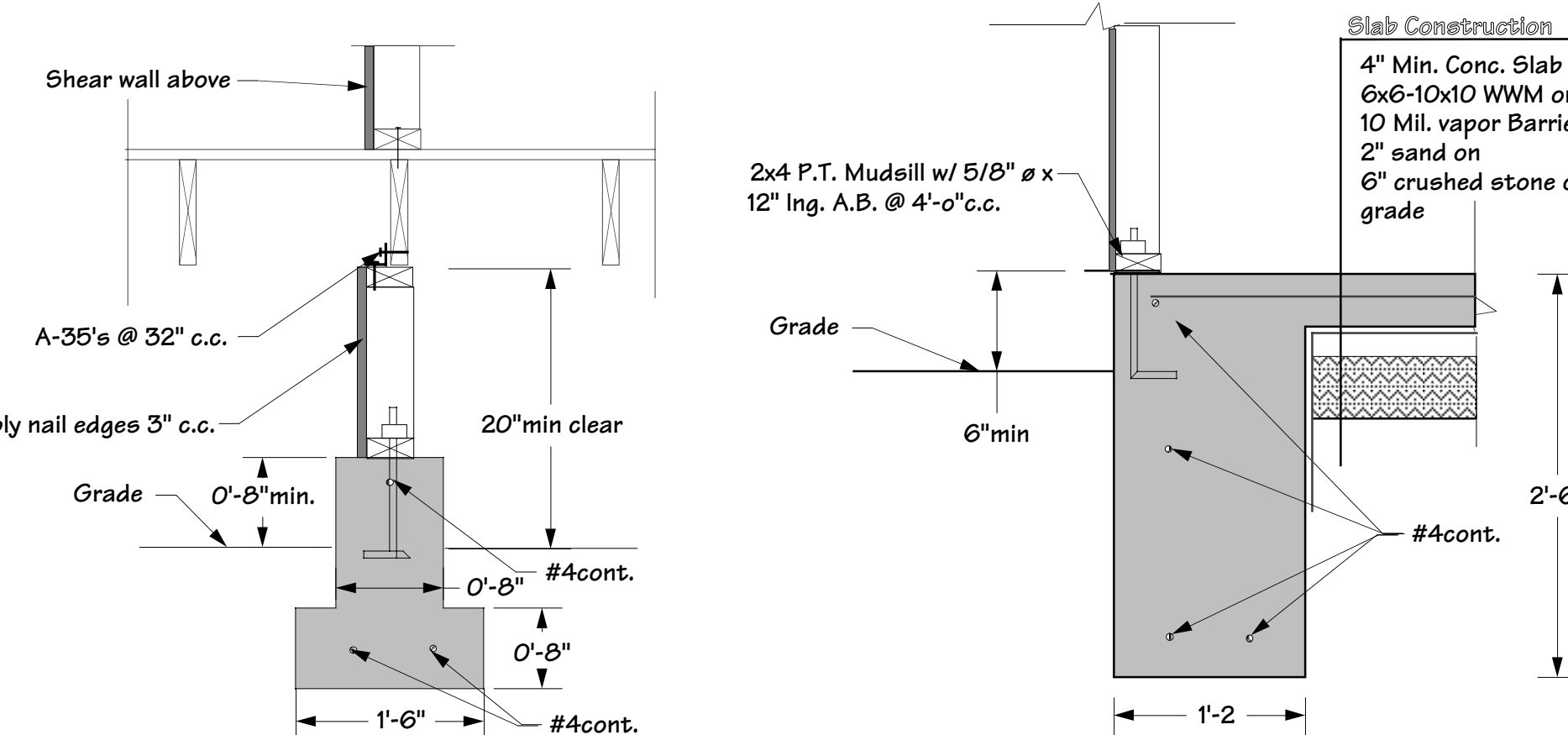
- A. Work Included**  
This work shall include but shall not be limited by the following:  
1. Concrete footing for walls, supporting posts, piers.  
2. Garage conc. floor.  
3. Sidewalks & driveways.
- B. Concrete Proportions**  
1. Concrete for footings and drilled piers shall develop an ultimate 28-day compressive strength of 2500 pounds per square inch. Max. aggregate size 3/4", slump 3 1/2" and min. cement content of 6 sacks per yard of mix.  
2. Concrete for slabs on grade shall be 2,000 p.s.i. (28 day ultimate strength) max. slump 4", max. aggregate 3/4" min. cement of 4 1/2 sacks per yard of mix, max. water content 7 gallons per sack.  
3. Owner and Architect to approve color and size of pebbles for finish of exposed stone finish of driveway, patio and sidewalks.  
4. Aggregate type for the concrete shall conform to ASTM C-33. Cement shall conform to ASTM C-150 Type I or II.  
5. All Concrete work shall conform to the requirements of the latest edition of the ACI Building Code (ACI-318) and Uniform Building Code latest edition. Detailing, fabrication and erection shall be in accordance with the latest edition of the Manual of Standard practice (ACI-315)  
**C. Concrete Footings**  
1. Notify the architect for inspection of footing beds before any concrete is placed. Provide vents, sleeves and chases as required by trades.  
2. All footings shall be of sizes indicated on the drawings and at least 2'-0" below finished grade. Where excavation has been carried below required level, start footings from the bottom of the excavation.  
3. All footings shall start at the elevations indicated on the drawings and at least 2'-0" below finished grade. Where excavation has been carried below required level, start footings from the bottom of the excavation.  
4. Excavations should be kept moist by sprinkling until concrete is poured. Bottom of formwork to be free of loose dirt and debris before pouring of foundations.  
5. Demolish existing foundations as required.  
6. Anchors, bolts, inserts and other hardware to be set in concrete shall be firmly set in position before concrete is placed.  
7. Provide 3 x 1/2" dia. #4 Rebar dowels, epoxy into existing footings at intersections of new to old footings.  
8. Bend down top bars at ends of footings such as at garage doors.  
**D. Slabs and Walkways**  
1. Slab on grade shall be 4" min. thickness. See drawings for sand, crushed rock base, and wire mesh reinforcement. Slab on grade shall be placed in alternate panels. No panel shall exceed 25 lineal feet in width or 600 sq. ft. in area, unless separated by control joint.  
2. All exterior concrete slabs (Patios, driveways, and walkways) to have a minimum slope of 1/8" per foot to prevent ponding of water.  
**E. General**  
1. Construction joints shall be thoroughly air and water cleaned and roughened to expose coarse aggregates. Surface to receive concrete shall be maintained continuously wet at least three hours in advance of pouring.  
2. Install 6" x 14" galvanized screened foundation vents to provide 1 1/2 sq. ft. of vent area for every 25 lineal feet of exterior wall under living area.  
3. Provide two 6" x 14" galvanized screened foundation vents per car space in garage exterior wall.  
4. Provide control joints as shown on drawing  
**F. Blinding Concrete**  
1. All concrete shall be mixed in an approved-type power batch mixer equipped with a water measuring device. Transit mixed concrete shall conform to ASTM specification C-94 and above provision.  
**G. Concrete Finish**  
Concrete shall be finished as follows:  
1. Garage floor - smooth trowel finish  
2. Entrance steps, float finish with steel trowel to receive ceramic tiles.  
3. Sidewalks wood float finish, spray to expose aggregate.  
4. Slabs on fill -- After the concrete footings have been placed, remove the forms and backfill to proper level to receive the floor construction. Under all floor areas place a 6-inch layer of graded gravel fill; public, ramp, and level properly to a reasonable true, even surface.  
**H. Reinforcing Steel**  
1. Reinforcing steel shall be grade 40 for #5 bars and smaller, 60 grade for #6 bars and larger with deformation per ASTM specification A-305 and welded wire mesh per ASTM specification A-185. Steel shall be accurately placed and firmly supported. Lap 40 diameters at splices. Simpson connectors as shown. Reinforcing shall be bent 18" min. around corners in foundation walls or grade beams.  
2. 5/8" diameter x 12" anchor bolts at 4'-0" unless noted otherwise on drawings. Locate anchor bolts within 12" from corners and butt joints per Sec 2307(c), U.B.C.  
3. Provide Simpson Hold downs, girder hangers, and Structural connectors as shown on drawings.  
4. Provide U.F.E.R. electric ground w/ 2 No. 4 rebars 20 feet long embedded in footing in opposite directions.  
**I. Drainage and Clearances**  
1. Provide positive drainage away from exterior foundation walls of 1/2" per foot for the first 60" and then 1/4" per foot for eight feet. Provide conc. splashers at all downspouts and direct away from house.  
2. Provide 3" min. clearance between soil and steel, 2" clearance in formed concrete. Min. 6" clearance between fin. grade and wood structures.  
**J. Excavation, Fill and Backfill**  
1. All excavations shall be made to firm undisturbed soil and to the dimensions indicated on the drawings. Bottom of footings to be compacted to 90% maximum density and to be free of loose dirt and debris.  
2. Forms and all loose debris to be removed before backfill. Backfill to be suitable excavated material free of trash, lumber and debris. Backfill to be placed in layers properly moistened and compacted by tampers and/or rollers to be clean crushed stone or sand, moistened and compacted in layers not exceeding 6" to 90% maximum density.  
3. Fill under slabs to be clean crushed stone or sand, moistened and compacted in layers not exceeding 6" to 90% maximum density.  
4. Dispose of all excavation waste away from the job site.



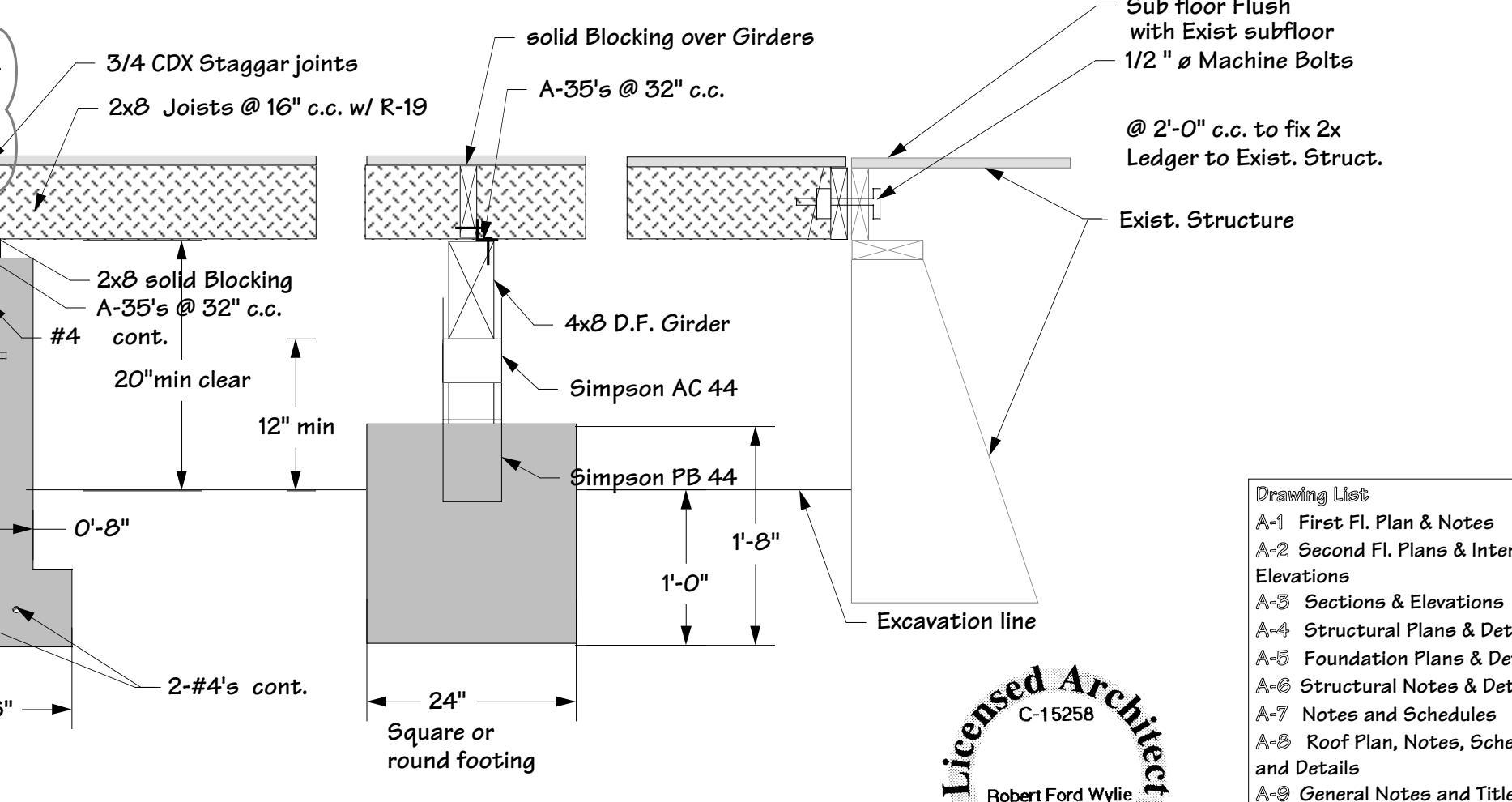
**Insulation and Ventilation details**  
Scale 3/4" to 1'-0"



**1 Bay Window @ Footing**  
Scale 1" to 1'-0"

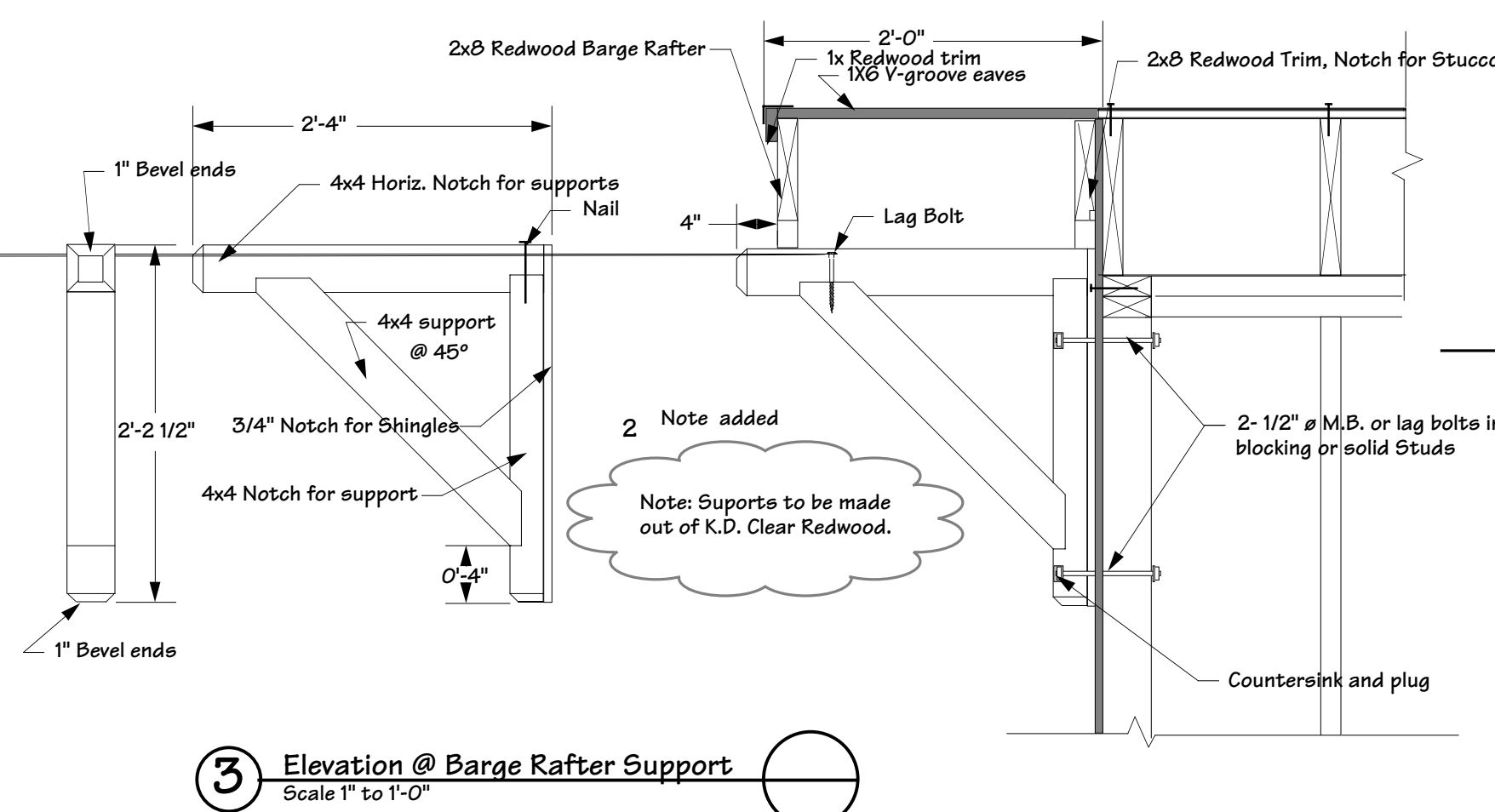
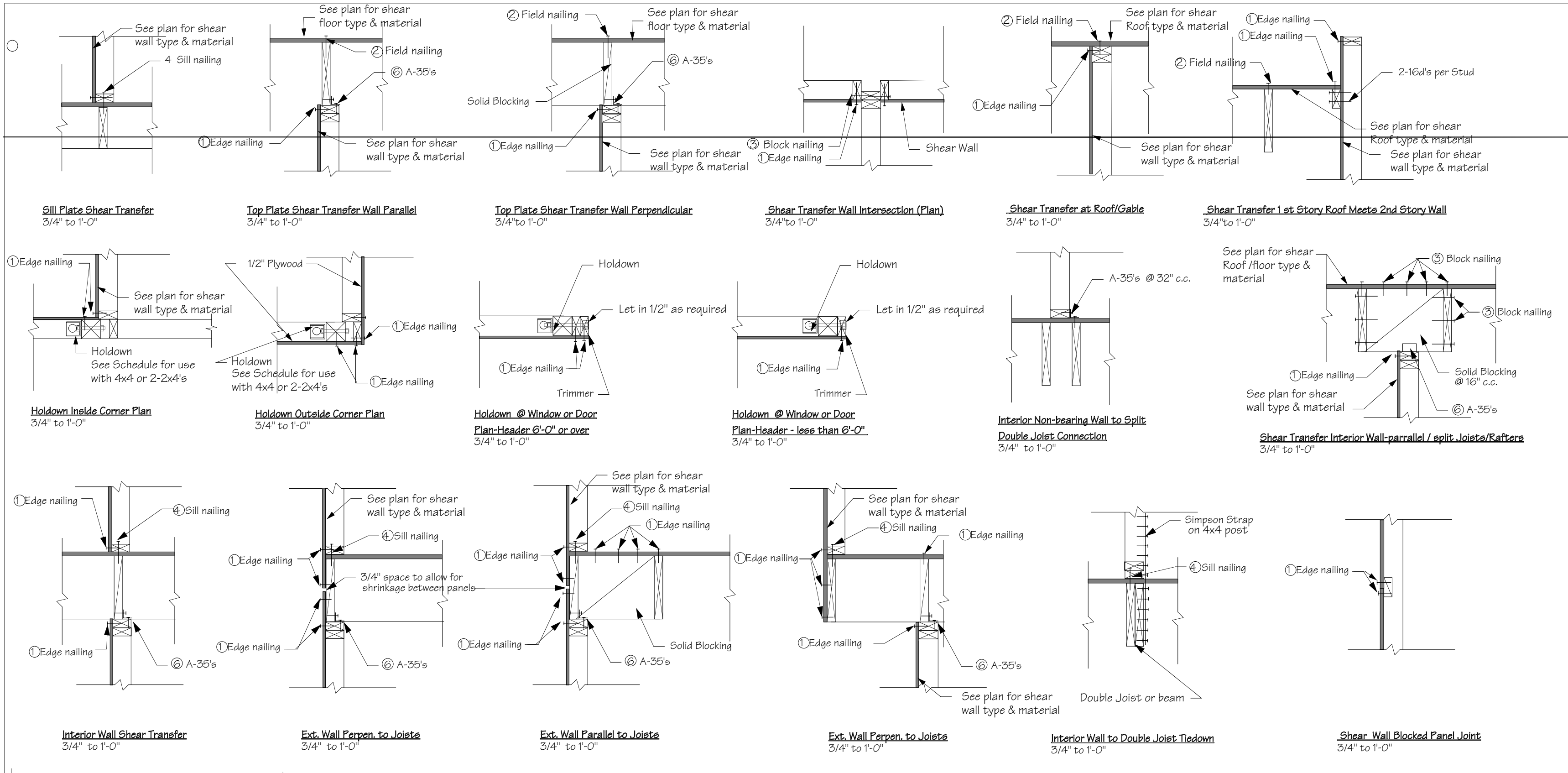


**5 Interior Footing**  
Scale 1" to 1'-0"



**2 New Footings/New to (E) connection**  
Scale 1" to 1'-0"





**Shear Roof & Floor Schedule**  
Plywood Shear Roof and Floor schedule with framing of Douglas Fir-Larch, A-35 framing connections are required. Min. 5/8" Douglas Fir-Larch C-CX, C-DX Structural II or better for roof, and min. 3/4" Douglas Fir-Larch C-CX, C-DX Structural II or better for flooring. Use ringshank nails for flooring.

Shear	1 Edge nailing	2 Field nailing	3 FlatBlock nailing	4 Panel Size Reinforcing	5 Nominal Framing
Roof	10d @ 4"	10d @ 10"	16d @ 4"	32" c.c.	5/8" 2"
Floor	10d @ 4"	10d @ 10"	16d @ 4"	32" c.c.	3/4" 2"

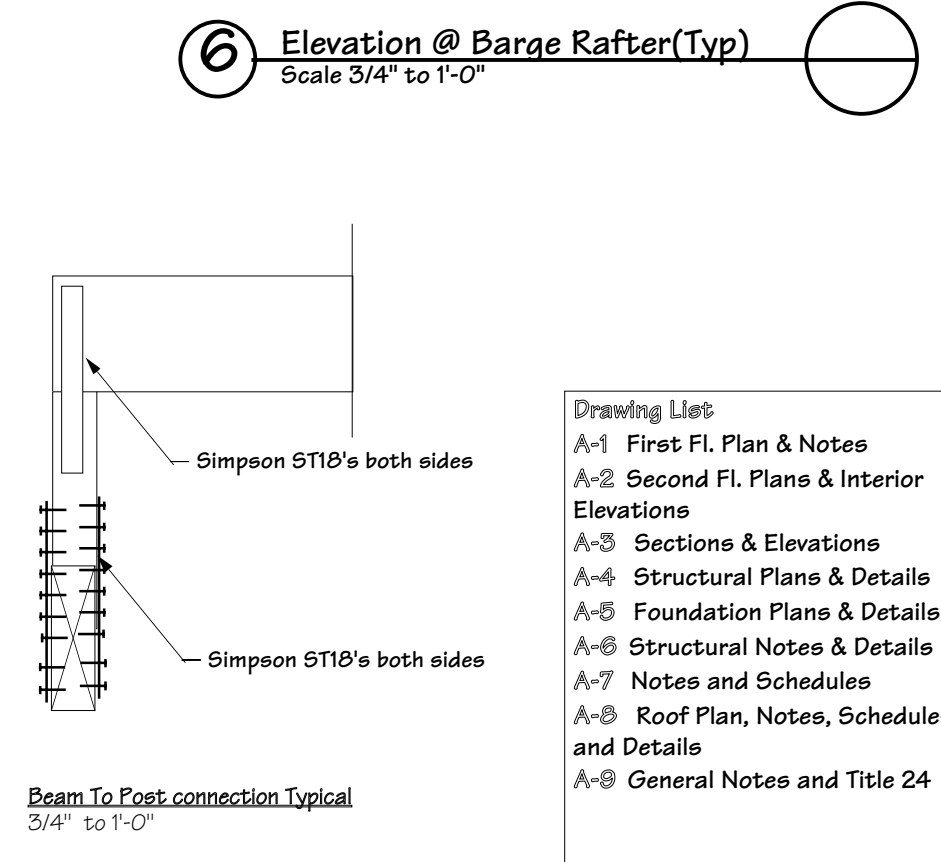
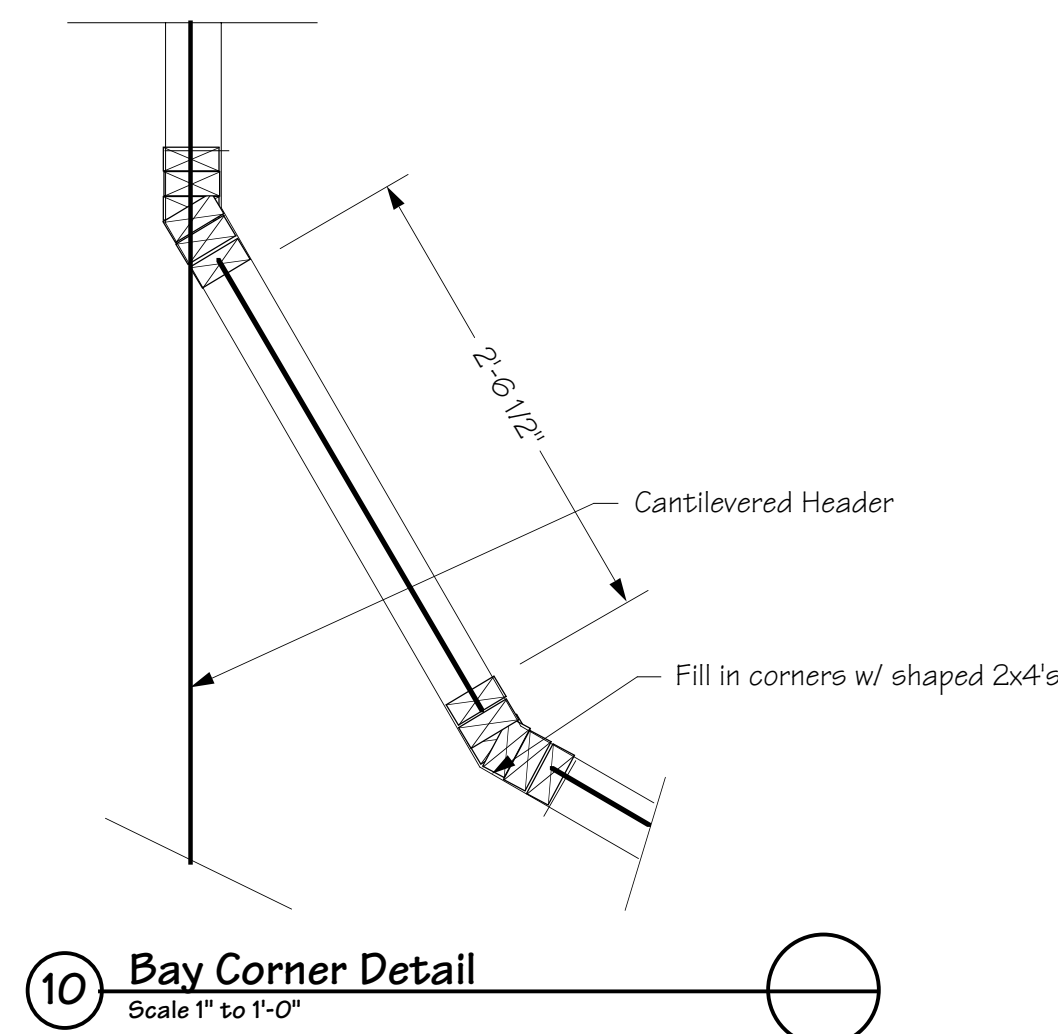
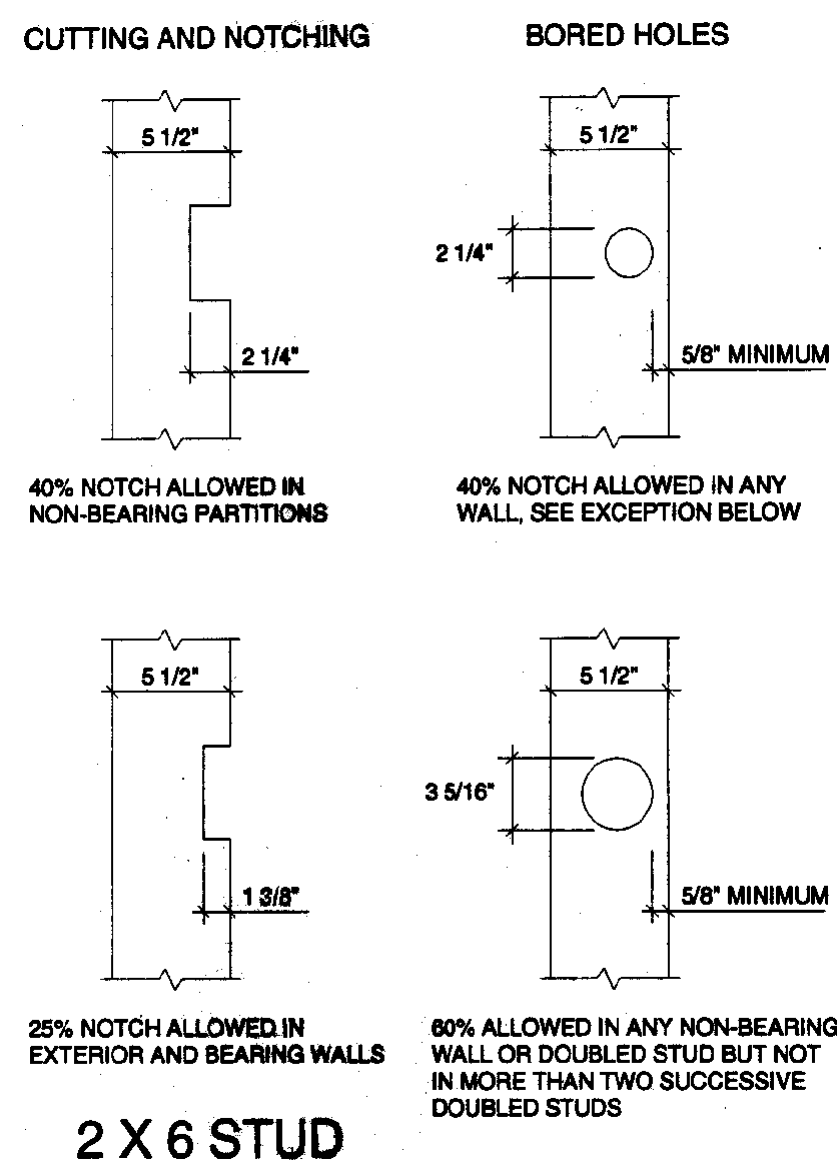
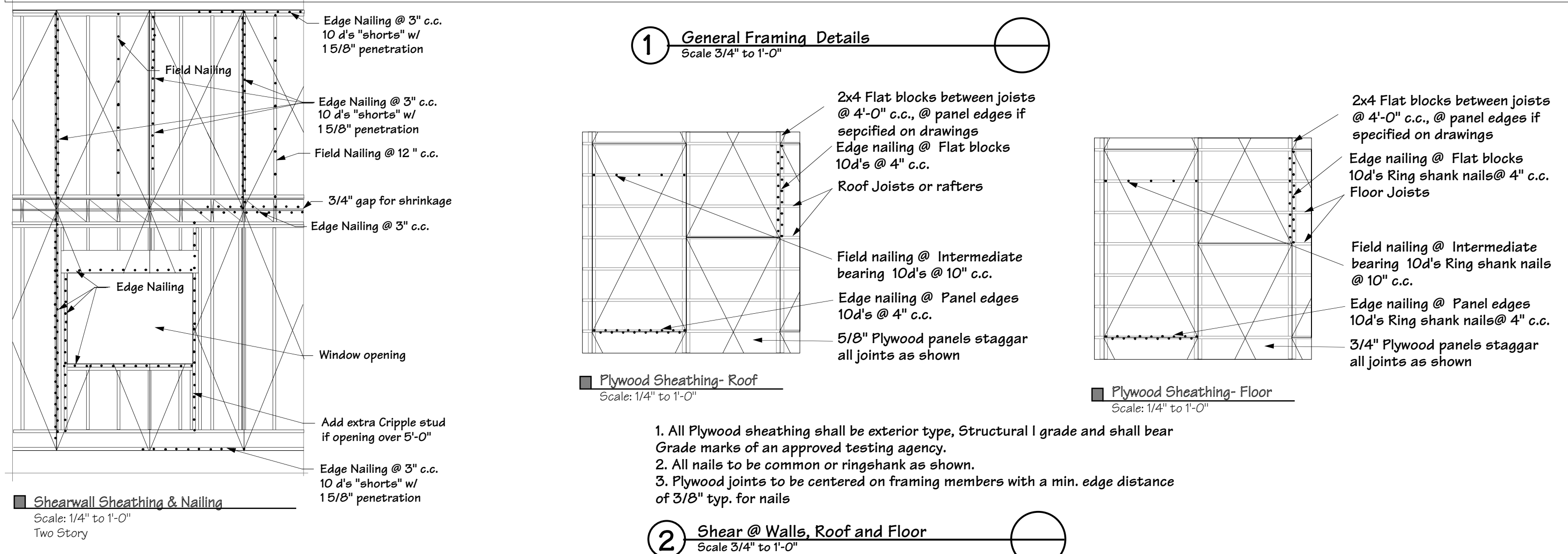
**Shear Wall Schedule**  
Plywood Shear wall schedule with framing of Douglas Fir-Larch, A-35 wall framing connections are required. Min. 1/2" Douglas Fir-Larch Structural I or better. Blocking required for all cases. Sill bolts are 5/8" embedded 12" into concrete.

Shear Wall Symbol	1 Edge nailing	2 Field nailing	3 FlatBlock nailing	4 Sill nailing	5 Mud sill bolting	6 A-35 Reinforcing	7 Nominal Framing
Allowable Load	10d @ 3"	10d @ 12"	16d @ 3"	16d @ 4"	4'-0" c.c.	32" c.c.	2"
Typ.	10d @ 3"	10d @ 12"	16d @ 3"	16d @ 4"	4'-0" c.c.	32" c.c.	2"

Note: 10 d's "shorts" w/ 15/8" penetration for all shear wall conditions.

**TABLE 23-I-Q - NAILING SCHEDULE**

CONNECTION	NAILING <sup>1</sup>
1. Joist to sill or girder, toenail	3-8d
2. Bridging to joist, toenail each end	2-8d
3. 1" x 6" (25 mm x 152 mm) subfloor or less to each joist, face nail	2-8d
4. Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist, face nail	3-8d
5. 2" (51 mm) subfloor to joist or girder, blind and face nail	2-16d
6. Sole plate to joist or blocking, typical face nail	16d at 16" (406 mm) o.c.
Sole plate to joist or blocking, at braced wall panels	3-16d per 16" (406 mm)
7. Top plate to stud, end nail	2-16d
8. Stud to sole plate	4-8d, toenail or 2-16d, end nail
9. Double studs, face nail	16d at 24" (610 mm) o.c.
10. Doubled top plates, typical face nail	16d at 16" (406 mm) o.c.
Doubled top plates, lap splice	8-16d
11. Blocking between joists or rafters to top plate, toenail	3-8d
12. Rim joint to top plate, toenail	8d at 6" (152 mm) o.c.
13. Top plates, laps and intersections, face nail	2-16d
14. Continuous header, two pieces	16d at 16" (406 mm) o.c. along each edge
15. Ceiling joists to plate, toenail	3-8d
16. Continuous header to stud, toenail	4-8d
17. Ceiling joists, laps over partitions, face nail	3-16d
18. Ceiling joists to parallel rafters, face nail	3-16d
19. Rafter to plate, toenail	3-8d
20. 1" (25 mm) brace to each stud and plate, face nail	2-8d
21. 1" x 8" (25 mm x 203 mm) sheathing or less to each bearing, face nail	2-8d
22. Wider than 1" x 8" (25 mm x 203 mm) sheathing to each bearing, face nail	3-8d
23. Built-up corner studs	16d at 24" (610 mm) o.c.
24. Built-up girder and beams	20d at 32" (813 mm) o.c. at top and bottom and staggered 2-20d at ends and at each splice
25. 2" (51 mm) planks	2-16d at each bearing
26. Wood structural panels and particleboard: <sup>2</sup>	
Subfloor, roof and wall sheathing (to framing): (1 inch = 25.4 mm)	
1/2" and less	6d <sup>3</sup>
3/4" and less	8d <sup>3</sup>
1/2" - 1 1/4"	10d <sup>4</sup> or 8d <sup>5</sup>
Combination subfloor-underlayment (to framing): (1 inch = 25.4 mm)	
3/4" and less	6d <sup>3</sup>
1/2" - 1 1/4"	8d <sup>3</sup>
10d <sup>4</sup> or 8d <sup>5</sup>	
27. Panel siding (to framing):	
1/2" (13 mm) or less	6d <sup>6</sup>
3/8" (16 mm)	8d <sup>6</sup>
28. Fiberboard sheathing: <sup>7</sup>	
1/2" (13 mm)	No. 11 ga. <sup>8</sup>
	No. 16 ga. <sup>9</sup>
25/32" (20 mm)	No. 11 ga. <sup>8</sup>
	No. 16 ga. <sup>9</sup>
29. Interior paneling	
1/4" (6.4 mm)	4d <sup>10</sup>
3/8" (9.5 mm)	6d <sup>11</sup>



## DIVISION 8: CARPENTRY

### A. Materials

- All materials are to be the best of their respective kind. Lumber shall bear the mark and grade of the association under whose rules it is produced. Framing lumber shall be thoroughly seasoned with a maximum moisture content of 19 percent. All millwork shall be kiln dried.
- Properly protect all materials. All lumber shall be kept under cover at the job site. Material shall not be delivered in an unduly long time before it is required for work.
- Lumber for various uses shall be as follows: Framing: Douglas fir unless otherwise noted. Exterior Millwork: No. 1 clear K.D. Redwood, backpainted. The lumber must be sound, thoroughly seasoned, well manufactured and free from warp which cannot be corrected by bridging or nailing. All woodwork which is exposed to view shall be F&S.
- Verify all species, grades and dimensions of lumber with Engineering Drawings.

### B. Installation

- All work shall be done by skilled workers.
- All work shall be erected plumb, true, square, and in accordance with the drawings.

### C. Grades and Species of Lumber

- Wood framing lumber shall be graded as follows (unless otherwise noted):
  - Headers, posts and joists DF #1.
  - Plates rafters DF #2
  - Studs, shoes, and double wall plates shall be Douglas fir, #2 grade.
  - Mudsill pressure treated DF
  - All beams over 4x12 to be select structural D.F.

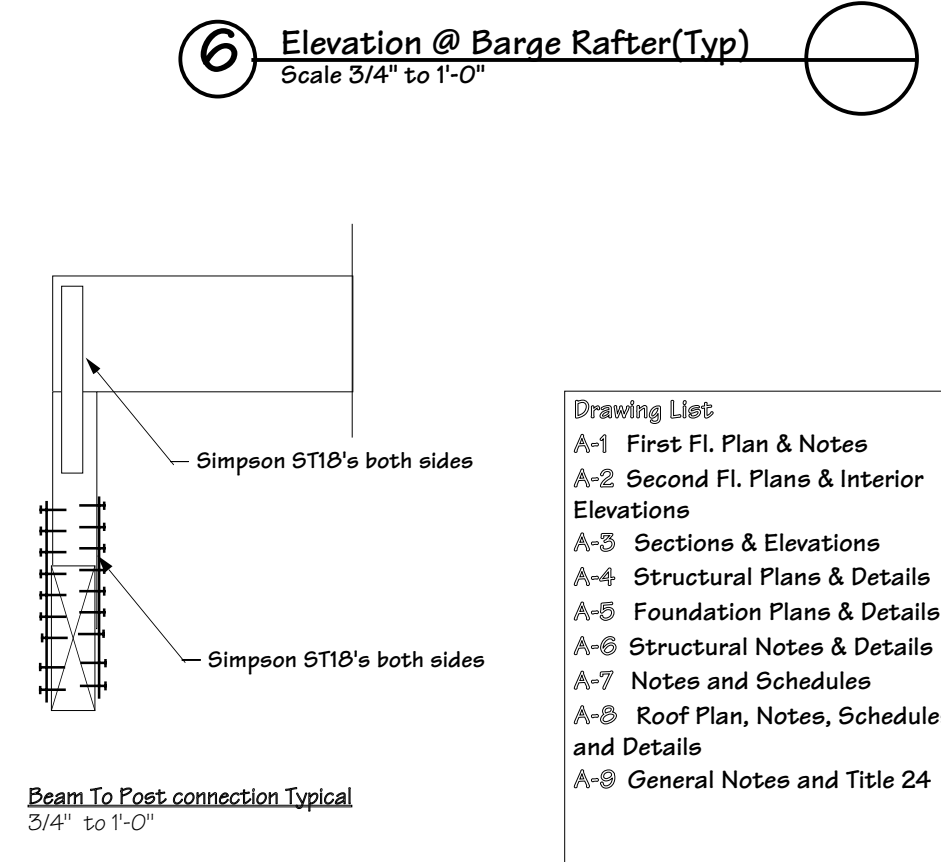
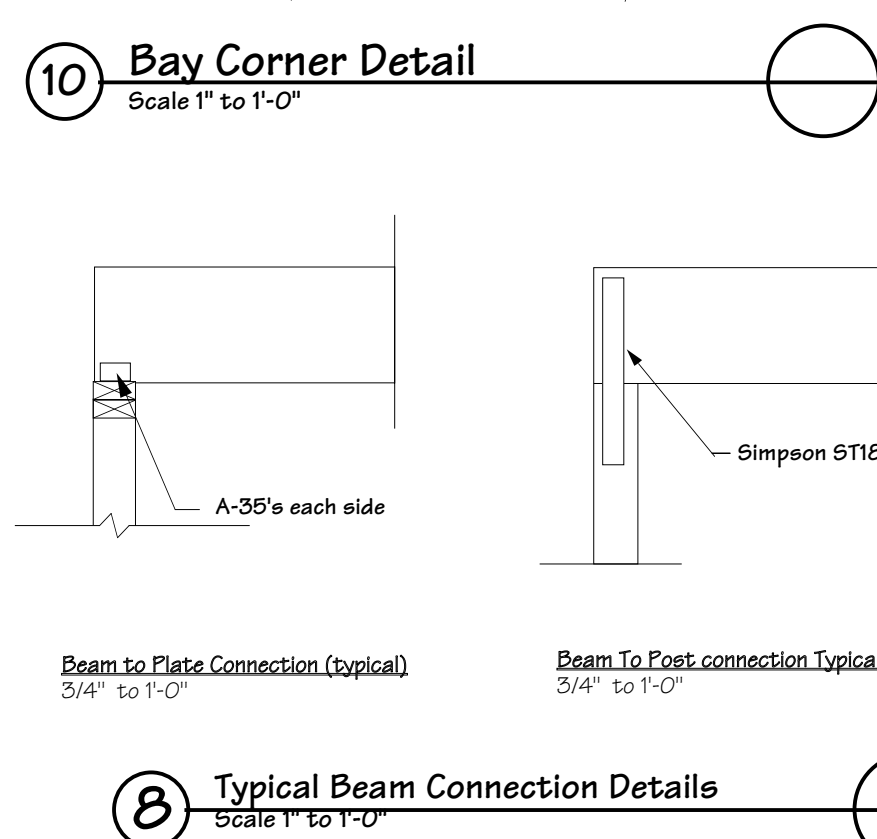
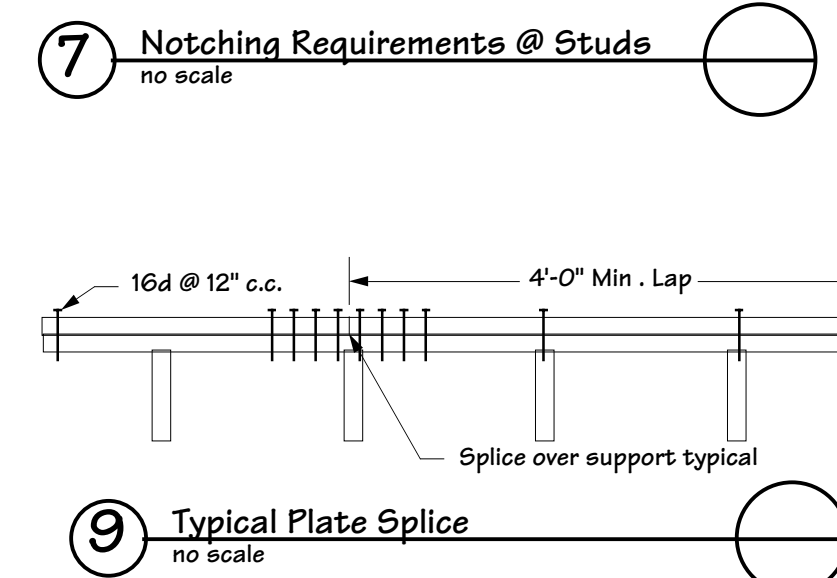
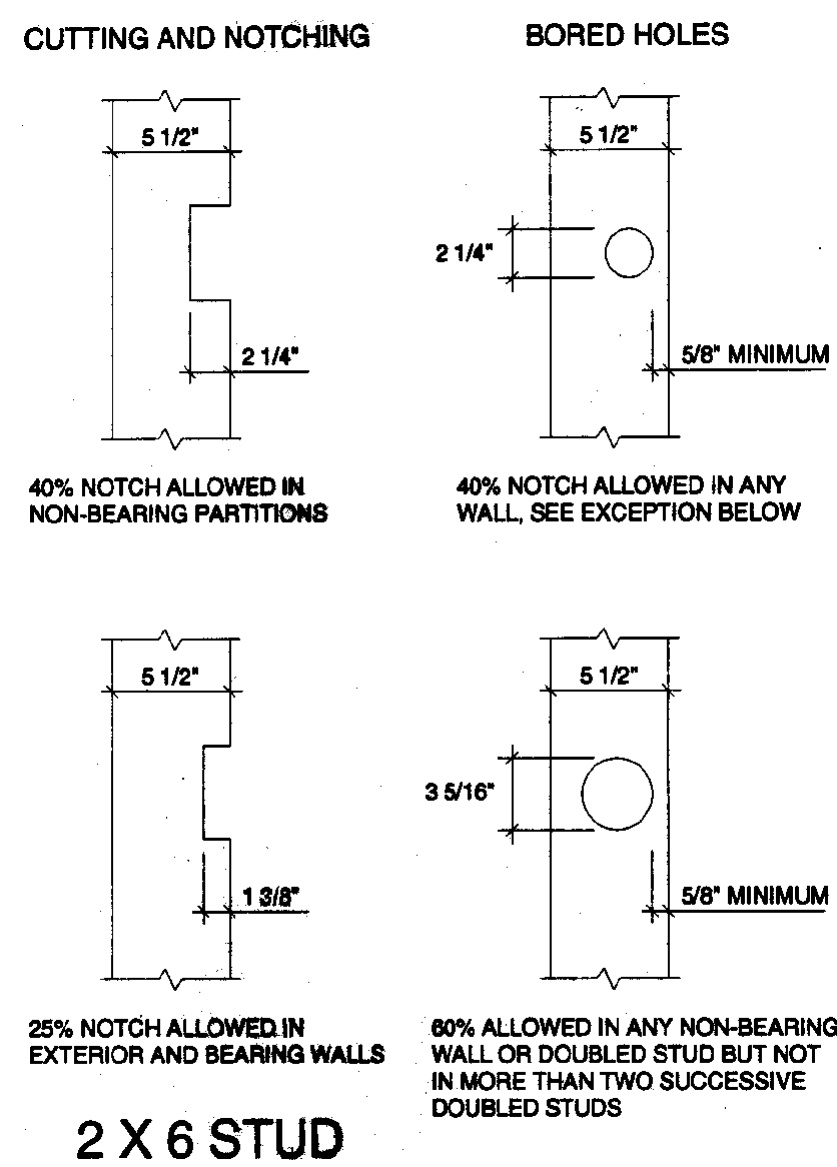
- Framing lumber, except studs and wall plates, shall be No. 1 Douglas fir.
- Headers over 6" to be Select Structural. 3" bearing for Headers over 6"-0" each end.
- Bridging shall be solid.
- All joists are to be doubled under partitions and around stairways and fireplace openings.
- Subflooring shall be 3/4-inch plywood T&G APA grade CDX Glue and nail. Block edges.
- Ceiling joists doubled around skylite, duct chases, and as required.

- Wall sheathing shall be 1/2" x 4', plywood APA grade Structural II B. Provide solid blocking at the ends of all joists and rafters over exterior. On one story sections run full length pieces from mudsill to all bearing walls. On two story sections, splice at center of second floor joists. Provide span blocking for all floor joists of size 2 x 8 or greater leaving 3/4" space to allow for wood shrinkage.
- Roof sheathing 1/2" x 4' x 8' plywood APA grade C-D exterior T&G. Stagger joints. Block edges.
- Soffits and eaves, 1 x 6 T&G v-groove redwood. Redwood backpainted before installation.
- Redwood trim as shown on drawings. Redwood backpainted before installation.
- Provide Simpson metal wall braces to the exterior and interior cross walls Brace/per 25 lineal feet of wall length at an angle of 60° max. 45° min. from the horizontal plane as per Sec. 2517(c) U.B.C.
- Provide double trimmers and sill for all openings over 6'-0". Provide 5T12's to tie double plates to headers for all openings over 6'-0".
- Provide double 2x4 top plates and sills to have a min 48" lap splice.
- Provide 16" seismic strap at the top plates for construction joints at the corners of walls.
- All headers shall be 4 x 12 DF No. 1 or select structural as noted on drawings.
- Nailing schedule shall conform to Table 25-Q, U.B.C. or as shown on drawings.
- All bolts for wood connections shall conform to ASTM A307 with heavy hex heads. Malleable nut washers shall be used at all places where the bolt head or nut would bear or otherwise be in contact with the wood surface. Bolt holes to be drive fit into wood members.
- Maximum unsupported stud height for 2x4 studs is 10'-0" and for 2x6 10'-0". Provide fire blocking so that maximum concealed space is 10'-0".
- Block under all perpendicular partitions. Double joists under all parallel partitions. Split double joists under parallel plumbing walls.
- Bolt multiple joists together with 1/2" machine bolts at 24" C.C. Alternate bolts between upper 1/4 and bottom 1/4 of the joist depth. Nail double joists with 16d nails at 24" C.C. similar pattern. Nail double or multiple studs with 16d at 16" C.C. similar pattern.
- Provide lateral support at ends of joists and rafters by solid blocking or hangers. Block between joists and rafters at all supports.
- All wood members in contact with concrete or masonry foundation surfaces shall be pressure treated with a preservative.
- Solid sawn members in floors shall be placed with crowns and any major knots upward.

- Conventional Construction Provisions as stated in Sec. 2517, U.B.C. shall be followed.
- All lumber, plywood, fiberboard sheathing, particleboard and structural glued laminated timber must be identified by a grade mark or Certificate of Inspection issued by an approved agency, Sec. 2505 U.B.C.
- Manufactured truss components must be inspected and approved by a recognized quality control agency as specified in the U.B.C.
- Beams shall not have splits or checks longer than the narrow face dimension.

- Solid posts under all beams.
- Tie all beams to plates with two Simpson A-35's/beam or with post caps.
- All headers 4x12 unless otherwise noted. Raise headers for pocket doors.
- Maximum allowable notch is 7/8" in 2x4 studs and 1-3/8" in 2x6 studs. Maximum allowable bored hole is 1-3/8" in 2x4 studs and 2-1/8" in 2x6 studs with at least 5/8" clear to edge of stud.
- Provide Simpson A-35's at 32" c.c. from Joist to mudsill or plate and rafter to top plate.
- Use 2x6 collar ties at 48" c.c. where shown on drawings.
- Unless otherwise noted stagger all plywood joints in floor and roof sheathing, and lay face grain perpendicular to supports.
- Verticle plywood sheathing shall be blocked at all edges and shall be extended from mud sill to top plate. Use full length sheets where possible. Where possible butt vertical sheathing on floor joists or blocking, leaving 1/2" gap for shrinkage.
- Provide min 1-1/2" bearing under all headers. 3" for spans over 5'-0"
- Provide ST 36 straps between studs connecting holdowns on first floor to studs of second floor framing where applicable.
- Fill all nail holes in Simpson connectors as recommended by manufacturer.

- Provide 18" min. by 24" min. access to all foundation spaces as per Sec. 2516(c) 2, U.B.C.. Provide 1 access within 20' of bathroom and kitchen plumbing. Double joists around openings. See Notes A-4.
- Provide 22" min. by 30" min. access to all attic spaces with 30" clear ht. or more per UBC. Sect. 3205-A. Double joists around openings. See Notes A-5.





Plumbing Schedule/ Appliance Schedule

Room	Item	Item	Fixture	Brand	Model#	Color	Purch.	Install	Remarks
Kitchen	P1	Sink #1	Sink	Kohler	Bakersfield	White	Cont.	Cont.	three holes model K5834-3U
	A3		Faucet	Grohe	33.863	Chrome	Cont.	Cont.	Europlus model, with removable faucett head, w/ optional Grohe soap dispenser. Undermount style.
			Garbage Disposal	GE	GFBI05OG	N.A.	Own.	Cont.	
			Air Gap						
	A6	Wine cooler	Wine cooler	U-line	75-WC	White	Own.	Cont.	
	A4	Dishwasher	Dishwasher	Bosch	SHU4302UC	White	Own.	Cont.	
Bath	A2	Range	Range	Kit. Aide	KGST307GWH	White	Own.	Cont.	provide gas and electric hookup as required w/ ext. vent.
		Range Hood	Hood	Best	K41	SS	Own.	Cont.	
	A5	Microwave	Microwave		(E)	White	Own.	Cont.	
	A1	Refrigerator	Refrigerator	Jenn-air		White	Own.	Cont.	Provide for Automatic Ice Maker See elevations
Master Bath	P5	Basin	Lavatory	Porcher	1224	White	Cont.	Cont.	Graphique model single hole
	P3	Toilet	Faucet	Grohe	Taron	White	Cont.	Cont.	complete w/ seat
	P8	Tub set	Tub set	Grohe	Ultimate 25597	Chrome	Cont.	Cont.	w/ lever handles, 18.754, complete w/ hand held spray
Bath #2	P6	Tub	Tub	Porcher	1109	White	Cont.	Cont.	Graphique model
	No # Towel Bars								
Bath #2	F7	Basin	Sink	Whithouse	WHS1207A	SS	Cont.	Cont.	Wall mounted, verify all fixture locations before rough in.
	P4	Toilet	Faucet	Grohe	Taron	White	Cont.	Cont.	complete w/ seat
			Toilet	Toto	Ultimate				
	P8	Shower	shower head	Grohe		Chrome	Cont.	Cont.	
Bath #3	No # Glass door		volume controls		Talia 19.710				Shower doors, tempered, in green tint to match lav glass.Owner to approve
	No # Towel Bars								
	P7	Basin	Medicin cab.	Robern	PLM1637	White	Cont.	Cont.	round top m.c. w/ PL11.5F lights on each side
	P4	Toilet	Sink	Kohler	Farmington	White	Cont.	Cont.	
Bath #3			Faucet	Grohe	Talia 20,892	White	Cont.	Cont.	wide set
	P8	Shower	shower head	Grohe	Talia 19.710		Cont.	Cont.	complete w/ seat
			volume controls	Grohe	Talia 19.710				
	No # Glass door								Owner to approve of glass and frame, tempered glass
Laundry	No # Towel Bars								
	A7	Washer	Medicin cab.	Robern	PLM1637	Chrome	Cont.	Cont.	round top m.c. w/ PL11.5F lights on each side
	A7	Dryer	Washer	Maytag	Neptune	White	Owner	Owner	Stack units
	F2	Sink	Dryer	Maytag	Neptune	White	Owner	Owner	Electric Dryer
Msc. App.		Faucet	Sink	Elkay	SS		Cont.	Cont.	T.B.C.
		Faucet	Faucet	Price/Plaster					
A9	Fireplace	Fireplace		Majestic	5H36	Black	Cont.	Cont.	Provide Comb. air kit, flue, storm collar, chimney top. Glass doors finish and style approved by owners.
									Min. flue height 15' and all items necessary to install. ULFMH6018
A10	Furnace	Furnace		Bryant	36CAV-048096		Cont.	Cont.	w/ electrostatic filter option.
	Elect. Cleaner			Carrier	31-KAX016		Cont.	Cont.	electrostatic filter
	H.W. heater	H.W. heater		Sears	33055		Cont.	Cont.	50 Gal. Fast recovery,high eff. with recirculating hot water system.
Note: Owner to provide all Towel Bars, T.F. dispensers, in all baths. Contractor to provide necessary blocking and installation. Locate Exactly w/ Owner on site before installation.									

Room Finish Schedule

Room	Struct.	FLFin.	Base	Crown Trim	Walls/Tex./fin	Cln'g./Tex./fin	Wood Trim	Remarks
Mas. B.R.	Wd.	Wood/oak	Wd.	2" Crown, paint	Gyp.Bd. PLF	Gyp.Bd. PLF	Paint enamel	
Mas. Closet	Wd.	Wood/cedar	Wd.		Gyp.Bd.w/ cedar finish	Gyp.Bd. PLF	Paint enamel	
Mas. Bath	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bath #2	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bath #3	Wd.	C.Tile	C.Tile		Gyp.Bd. PLE	Gyp.Bd. PLE	Paint enamel	
Bed. #2	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Bed. #3	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Cl. #1, 4, &5	Wd.	Wood/oak	Wd.		Gyp.Bd. PLF	Gyp.Bd. PLE	Paint enamel	
Laundry	Wd.	C.Tile	Wd.		Gyp.Bd.PLE	Gyp.Bd. PLF	Paint enamel	
Entry & Hall	Wd.	C.Tile	Wd.		Gyp.Bd. PLF	Gyp.Bd. PLF	Stain	
Loft / Library	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Living room	Wd.	Wood/oak	Wd.	3" Crown, stain	Gyp.Bd. PLF	Gyp.Bd. PLF	Stain	
Dining	Wd.	Wood/oak	Wd.		Gyp.Bd.PLF	Gyp.Bd. PLF	Stain	
Kitchen	Wd.	C.Tile	Wd.		Gyp.Bd.PLE	Gyp.Bd. PLF	Stain	
Dining	Wd.	Wood/oak	Wd.	2" Crown, stain	Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Garage	Conc.	conc.	None		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Hot Water Closet	Conc.	conc.	None		Gyp.Bd.PLF	Gyp.Bd. PLF	Paint enamel	
Entry Porch	Conc.	C.Tile	None		Stucco PLF	Gyp.Bd. PLF	Paint enamel	

Floors  
Wood/oak-means new 2 1/4"x3/4" Red Oak over Sub floors. Provide stain samples for owner's approval.  
oGreen waterproof board for tile backing @ splash backs and walls where tile is to be applied.

Walls  
o Gyp.Bd. plaster-like finish  
o Gyp.Bd. plaster-like finish Provide samples for owner approval.  
oGreen waterproof board for tile backing @ splash backs and walls where tile is to be applied.

Ceilings  
o Gyp.Bd. plaster-like finish Provide samples for owner approval.

Paint/Finish  
PLF-Paint Latex Flat  
PLFE-Paint Latex Flat Enamel  
PLE- Paint latex enamel  
ST. Stain

Note: Walls and ceilings to recieve a plaster like finish U.O.N.Provide samples for Owner to approve.

Drywall In Fire Resistive Construction

There are two areas in residential construction where one-hour f ire resistive construction is required. One area is the wall separating an attached garage from the living area, and the other is the enclosed usable space (walls and ceilings) under a stairway. A one-hour firewall is constructed as follows: 5/8" type "X"gypsum wallboard is nailed 7" on center with 6d "cooler" nails to studs spaced 16" on center. All gaps and penetrations must be filled with taping cement or stuffed with noncombustible material such as fiberglass insulation Recommended Nails For Drywall

1/2" thick drywall:  
4d cement coated box nail, or  
13/8" - 14 gauge, acid-etched, phosphate coated nail, or 4d "drytite" nail

5/8" thick drywall: all framing conditions @ 24" c.c.  
6d cement-coated box nail, or  
1 1/2" - 14 gauge, acid etched, phosphate coated nail, or 5d "drytite" nail  
Any other nail or fastener with ICB0 approval may also be used. (Fire resistive construction must comply with Table 7B of the 1994 UBC.

Joint Finishing  
After gypsum wallboard has been installed, finish all joints and nail heads using the Perf-A-Tape joint system as recommended by the US Gypsum Company. Perf-A-Tape system to be installed according to the manufacturer's recommendations. Finishes per finish Schedule  
C. Hardwood Flooring  
All subfloors are to be broom cleaned and covered with deadening felt before the finished floor is laid. Wood flooring, where specified, is to be 1 x 2 1/4 tongue-in-groove and end-matched select red oak flooring. Flooring is to be laid evenly and blind nailed or stapled every 16-inches without tool marks. No Shorte. Owner to be provided with stain sample pieces.

1. All exterior paint shall be nonchalking and shall be guaranteed not to stain or otherwise discolor any adjacent work. All materials shall be used only as specified by the manufacturer. All knots and sap spots shall be treated with two coats of pure white shellac where paint or enamel is to be applied.

2. Schedule of Painting  
a. Priming: Prime all exterior work which has not been primed by the manufacturer. Prime exterior trim with an approved trim primer before installation. All primer is to be of the same manufacturer as that of the finished material which is to be applied. Prime all sides of exterior woodwork.

b. Exterior woodwork: Paint all exterior doors, windows, and trim with two coats of approved trim and shutter paint.

DIVISION 12: ELECTRICAL

A. Work Included

In general, the electrical work includes, but shall not be limited by the following:

1. Service entrance.
2. Service panel.
3. Wiring.
4. Electrical Service & telephone Service from utility pole to be underground.
5. Special outlets.
6. All cutting and patching for installation of the work.
7. Installation of Telephones, Data, and T.V. outlets as shown on drawings.
8. Installation of hardwired security system. Provide two security panels where directed by owners. Provide power where directed by subs.

B. General Requirements  
The complete installation shall be made in a neat, workmanlike manner in conformance with best modern trade practices, by competent, experienced electricians and to the full satisfaction and approval of the architect. All work shall be in accordance with local, state, or federal requirements, and shall comply with all applicable codes.

C. Guarantees  
The contractor guarantees that:  
1. All work executed under this contract will be free from defects of material and workmanship for a period of one year from the date of acceptance by the owner.  
2. The contractor, at his expense, will repair and replace all such electrical work and all other work or damage thereby, which becomes defective during the period of the guarantee.

D. Guide Specifications  
1. Service supplied to the structure shall be a wire, 116/230 volts, 60-cycle, single phase.

2. Service panel shall have a 200-ampere capacity, with automatic circuit breakers. The service panel shall be flush mounting with a flush door and shall accommodate 30 circuits.

3. Wiring: All circuit wiring is to be copper 12-gauge or larger, Type TW for general use.

4. Boxes: Outlet boxes and junction boxes are to be galvanized steel approved for proposed use and of a suitable size to accommodate the requirements of the fixture, wiring device, or equipment, and the wiring connections.

5. Switches and outlets: Dimmer switches-Leviton Decora slide, with night light feature. Verify all locations with owners. All other switches and outlets-Leviton Decora to match above. Outlets and switches and lighting fixtures to be mounted in metal or approved boxes All incandescent lights to be on dimmers, Slide type .

6. Wire: All outlets to be 12 Ga. wire. All others per code. All wire copper.

7. Location of outlets: Outlets, as shown, are in approximate locations. These must be checked on the job for possible conflicts with other trades or built-in. Convenience outlets shall be 16 inches to center from the finished floor, unless otherwise noted.

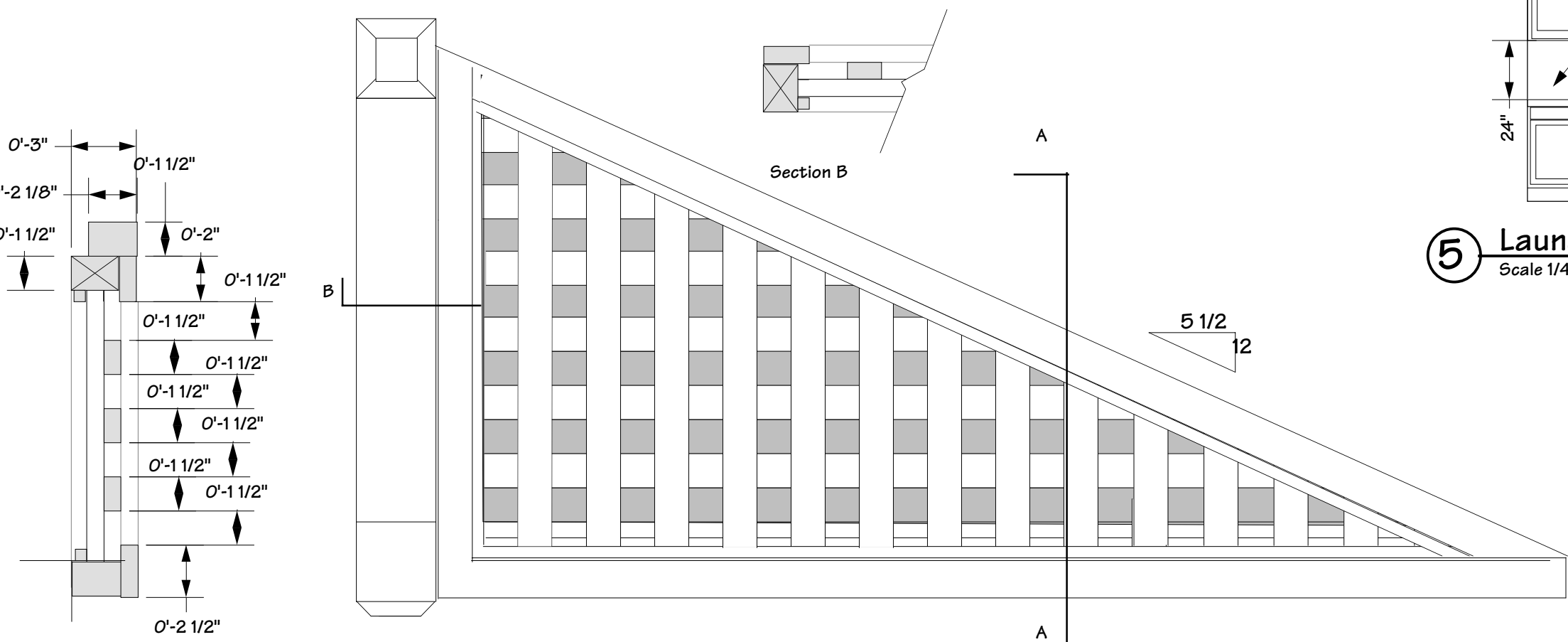
8. Grounding: The complete electrical system will maintain a solid ground, in accordance with the National Electrical Code.

Tile and Stone Schedule-See Cash Allowances

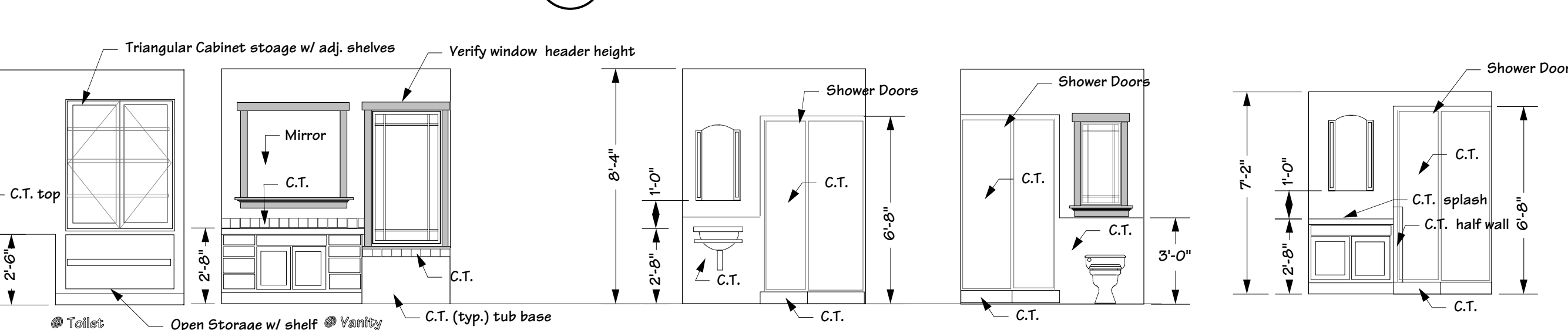
Note: See Cash Allowances in General Notes.

Location	Floor	Walls	Splash	Base	Counter /tops	Accent	Remarks/finish
Mas. Bath	x	x	x		wood corian		
Bath #2	x	x	x	wood			Wainscotting @ Walls
Bath #3	x	x	x	wood	corian		
Kitchen	x	x	x	wood	corian	splash	
Front ent.	x			wood			
Hall	x			wood			
Laundry	x	x	x	wood	corian		
Tub Deck				C.T.	corian	sides	
Porch	x			N.A.			

Ceramic Tile	Stone	Accent Tile
T1.	S1.	A1.
T2.	S2.	A2.
T3.	S3.	A3.
T4.	S4.	A4.



4 Gable Vent Elevations and Details  
Scale 2" to 1'-0"



2 Master Bath Elevations  
Scale 1/4" to 1'-0"

3 Bath #2 Elevations  
Scale 1/4" to 1'-0"  
Note: Wainscotting Tile @ all Walls

1 Bath #3 Elevations  
Scale 1/4" to 1'-0"

Corian Schedule

Note: See Cash Allowances in General Notes.

Location	Counter	Remarks/finish
Mas. Bath		
Bath #3		
Kitchen		
Laundry		

Corian name/number  
1.  
2.  
3.  
4.

Plumbing

1. All provisions of the General and Special Conditions apply

2. Includes:

- A. Design and install a complete and operational system based on Architect's schematic design. This will include a new 1" copper water main connected to city system. All work shall be in accordance with local, state or federal requirements, and shall comply with all applicable codes. Design and install 60 gallon hot water heater with insulated recirculating hot water system to all end use points.
- B. Remove all existing galvanized water delivery pipes, galvanized soil pipes and dispose of. All serviceable cast iron soil pipes to remain.
- C. Gas, water, soil waste and venting systems.
- D. Final hookup of all appliances, fixtures etc.
- E. The contractor shall obtain and pay for all permits and certificates of inspection if any are required for the plumbing.

4. Materials:

A. Sanitary Drainage System

1. Sanitary drainage piping, buried, shall be Cast Iron, with corresponding cast iron soil pipe fittings. Re-connect to existing 4" soil pipe.

2. Waste piping shall be uniformly pitched in the direction of the flow. Main drains shall be Cast Iron.

3. Cleanouts shall be provided and installed as required by code.

4. Vent Piping  
1. Vent piping shall be installed, connected to fixtures and drainage piping indicated.

2. Vents shall be extended through the roof to a height of approximately 12 inches above the roof deck. Vents shall be provided with approved flashing hub or cap.

5. Interior Water Piping  
1. All inside water piping shall be of standard drawn Type L copper except that exposed branches and exposed piping to fixtures shall be chrome brass.

2. All joints in copper tubing shall be sweat type. Soldered joints shall be lead free type, thoroughly cleaned with steel wool and approved, oil-free, soldering paste.

3. All water piping shall be properly and adequately supported on hangers spaced not over eight (8) feet apart.

6. Fixtures: See schedules

E. Other

1. Provide adequet sleeves under all walkways, driveways etc. as directed by landscape designer or owner for all outdoor electrical and irrigation systems.

2. Contractor to install reduced pressure back flow preventer by Watts or Fecoo @ 1" water main for irrigation system.

3. Water line for refrigerator icemaker. Note, provide connection and shut-off for icemaker at output line of Water purification device. Cold water output to connect directly to cold water line of Kitchen faucet.

4. Include Individual pressure valve and tempering valve for all showers and tubs per UPC 410.7

5. Strap water heater as detailed and provide P.T piping to exterior. U.P.C. 510.5

6. Provide insulated recirculating hot water system for entire house to supply hot water on demand.

7. Provide fuel gas piping per U.P.C. chapter 12 for furnace and hot water. Relocate Gas meter as shown on plans.

8. Vent stacks to terminate 10'-0" from second story windows or operable skylights. Where possible join vents together to minimize roof penetrations.

9. Water closet to have a min. clear stall space of 30" and a min. clear space of 24" in front.

10. Showers to have a minimum area of 1024 S.I. and a minimum clear horizontal dimension of 30". Water resistant gyp. bd. (all edges sealed), or approved equal required behind finish material to a height of 70" above drain.

11. Water heater shall be strapped for seismic load. See detail.

12. Water heater shall be insulated as per CEC.

13. No notching of 2x4 Studs for Plumbing work.

Heating and Ventilation Notes

1. All provisions of the General and Special Conditions apply

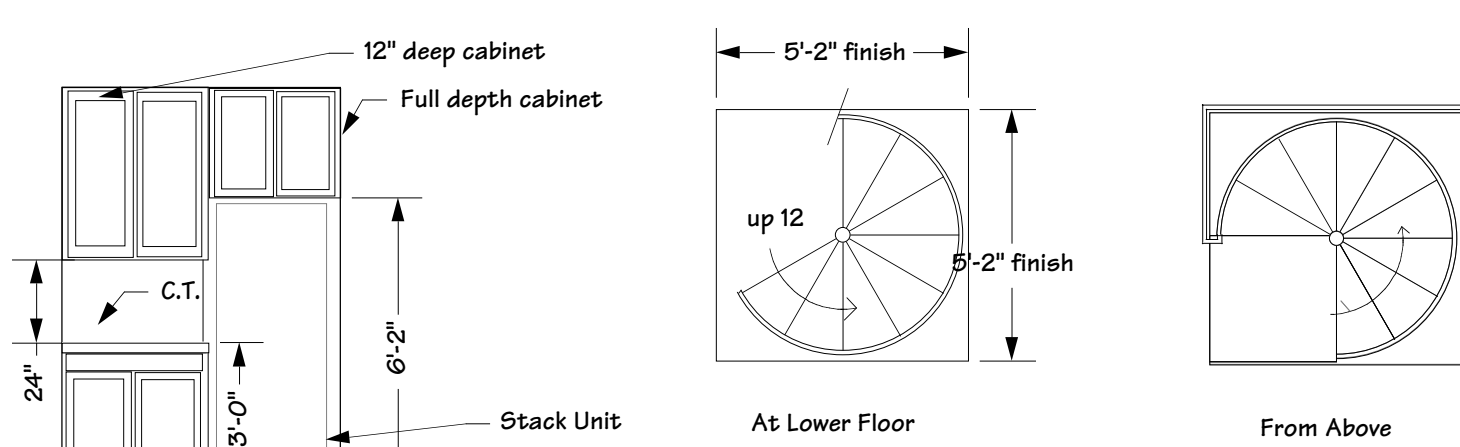
2. Includes:

- A. Design and install a complete and operational gas-fired hot air heating system. All work shall be in accordance with local, state or federal requirements, and shall comply with all applicable codes.
- B. Design a radiant warm floor system for the master bath tile floor.
- C. Excludes:  
A. Electrical hookup by electrical contractor.
- D. Materials:  
A. Heating Plant:  
B. Ducts:  
C. Registers: All floor mount- wood grills to match flooring-flush mounted, metal grills for carpeted areas. Toe-kick space registers from under counters, laundry, baths and kitchen.
- D. Thermostats: Double setback type Automatic controls.
- E. Cold Air return: Locate on site w/ Architect.
- F. Duct Insulation: As required by code.
- G. Filters: Furnish and install electrostatic dust remover.
- H. Applications:  
A. Ductwork sized and constructed as per ASHRAE. All cutting and patching for installation.
- B. System designed and constructed to give a balanced temperature in each room of 72 degrees Fahrenheit with balancing dampers on all branches.
- C. Furnish and install new horizontal downflow/upflow gas-fired furnace complete with fan and limit control. Furnace and burner. The furnace shall be Bryant Model #36CAV-048096 Furnace shall have an AGA output rating of 75,000 Btuh, AFUE 80%. Provide Carrier Model 31-KAX016 Electrostatic Filter, complete with all items necessary to complete the system.
- D. Clothes dryer duct shall terminate outside the building and be equipped with a back draft damper. Dryer duct shall not exceed a total of 14 feet including two 90 degree elbows. U.M.C. 504.3 Duct to terminate 3' from openings. U.M.C. 609.10 #3. Make-up air per U.M.C. 908.2
- E. Provide metal pan w/ drain to exterior under washer/dryer unit.
- F. In furnace room and Hot Water Heater area, provide vents in top and bottom to provide combustion air per U.M.C. 707.2. Provide 1 sq. in. per 4000 B.T.U.'s
- G. Toilet room exhaust fan vent termination shall be 3' from operable windows, operable skylights and doors. -S 1205 (c)
- H. Mechanical Ventilation  
1. Bathrooms, laundry rooms with or without operable windows shall be mechanically ventilated.

Spiral Stairway design shall be per Sec. 1006 U.B.C.

Here's a summary of the requirements of Chapter 10, Section 1006:

1. Minimum width - 26" from outer edge of supporting column to inner edge of handrail
2. Maximum rise - 9 1/2". Minimum rise - 4". Minimum run - 7 1/2" measured at a point 12" from narrowest point of tread.
3. Handrail must be between 34" and 38" above nosing of treads.
4. Minimum headroom clearance - 6'-6", measured vertically from the plane of tread nosings to soffit above.
5. Guardrail height - 36". Guardrails shall be built to resist 20 pounds per lineal foot horizontal force at the top of rail. Grip portion of the handrails to conform to UBC 1006.9
6. Intermediate rails placed so that a sphere 4" in diameter cannot pass through.
7. Maximum space served- 400 s.f.



5 Laundry Elevation  
Scale 1/4" to 1'-0"

6 Stair Plans  
1" to 4'-0"

Stair Specifications:

1. Stairwork shall be as follows:  
The Stair is a 12 riser, Right hand up, metal stair with a square landing and a 36" rail around the opening at the top as shown. The finished well opening for the stair itself, is to be a minimum of 5'-2"x5'-2", meaning rough framing is 5'-3"x4"x5'-3 1/4" to allow for gypsum board finish. The stair is to be fabricated by the Iron Shop, and is to be a Metal stair meeting UBC requirements. The Kit contains, Center pole, round base flange, treads, landing landing railing spindles, and provide the optional 1 1/4" brass handrail and second floor guardrail, and all hardware. Provide the optional 1 1/6" Red Oak treads, and landing. Verify all dimensions with manufacturer before ordering. Stair comes primed ready for paint. Owner to approve of final color of stair. Paint with low luster enamel paint.

Drawing List

- A-1 First Fl. Plan & Notes
- A-2 Second Fl. Plans & Interior Elevations
- A-3 Sections & Elevations
- A-4 Structural Plans & Details
- A-5 Foundation Plans & Details
- A-6 Structural Notes & Details
- A-7 Notes and Schedules
- A-8 Roof Plan, Notes, Schedules and Details
- A-9 General Notes and Title 24

Robert Ford Wylie  
Received Date  
5/31/08  
C-15258

Robert Ford Wylie  
State of California

A-7

Notes & Schedules

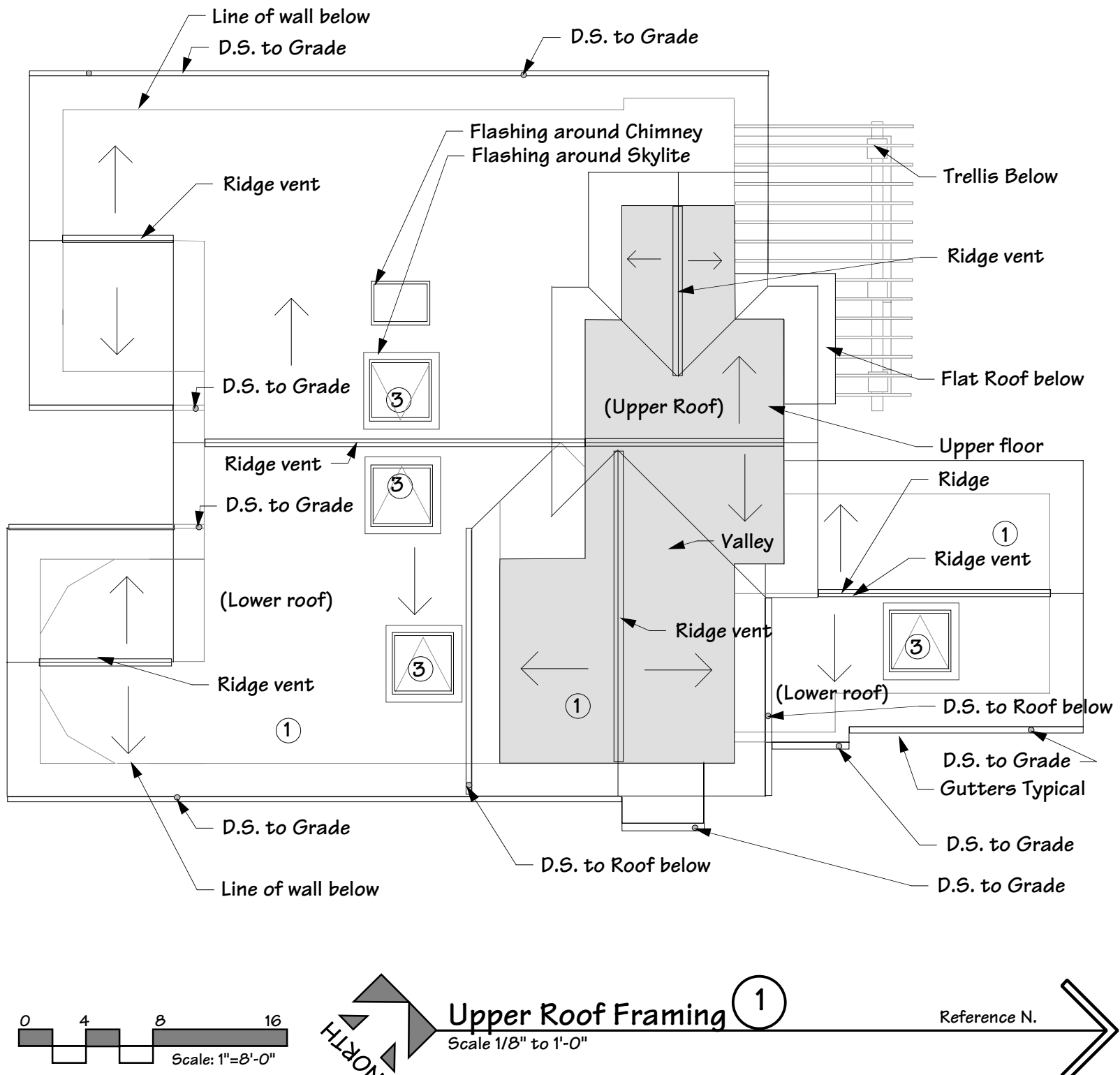
Drawings issued for Bids and Permits  
Issue 1 May, 8/99

Proposed Additions & Remodel @  
2330 Bryant St., Palo Alto, CA  
for Judith Schwartz and William Conlon

Robert Wylie, Architect  
2013 Goodwin Ave  
Redwood City CA 94061

650-2611189





#### Roofing and Moisture protection

A. Work Included  
This work shall include but shall not be limited by the following:

1. Asphalt shingle roofing
2. Galvanized iron flashing and edging.
3. Insulation: Ceilings of second floor R-30; all first floor R-19; all side walls R-13.
1. The roof shall be a 30 year four ply bondable roof as manufactured by Heritage and as recommended for installation over a sloping nailable deck per manufacturer's specifications. Class A-U.L. approved. Adhere strictly to manufacturer's specifications. Furnish a written guarantee that all roofing membranes and flashings to be watertight for a period of two years following the date of acceptance. Guarantee signed by roofing contractor and general contractor.

2. Roofing: Roofing shall be Heritage Mountain Slate, Asphalt saturated mineral surface 50 year strip shingles, applied in accordance with the manufacturers specifications. Owners to approve of style and color. No nails to break through eve or soffit material.
3. Flashing: Flashing shall be 24-gauge, best commercial grade G.I. 28 inches wide, and shall be used for all valleys, chimneys, and general flashing. Galvanized iron drip edge shall be used on rake and eaves under the asphalt shingles.
4. Insulation: Fit each fast snugly and securely between joists with vapor barrier toward the room side. Cut batts to fit irregular spaces, leaving flange on inside for stapling. In removing fiberglass to fit around pipes and other openings, do not cut vapor barrier unless necessary. Provide Certificate of Insulation for Building Department. Floor R-19, walls R-13, Ceiling R-30. Note: Use R-30 Rigid insulation where clear space is less than 10" and allow min. 1" air space above all ceiling insulation. All Cathedral Ceilings to have 6 mil. Vapor Barrier.

#### Gutters and Downspouts

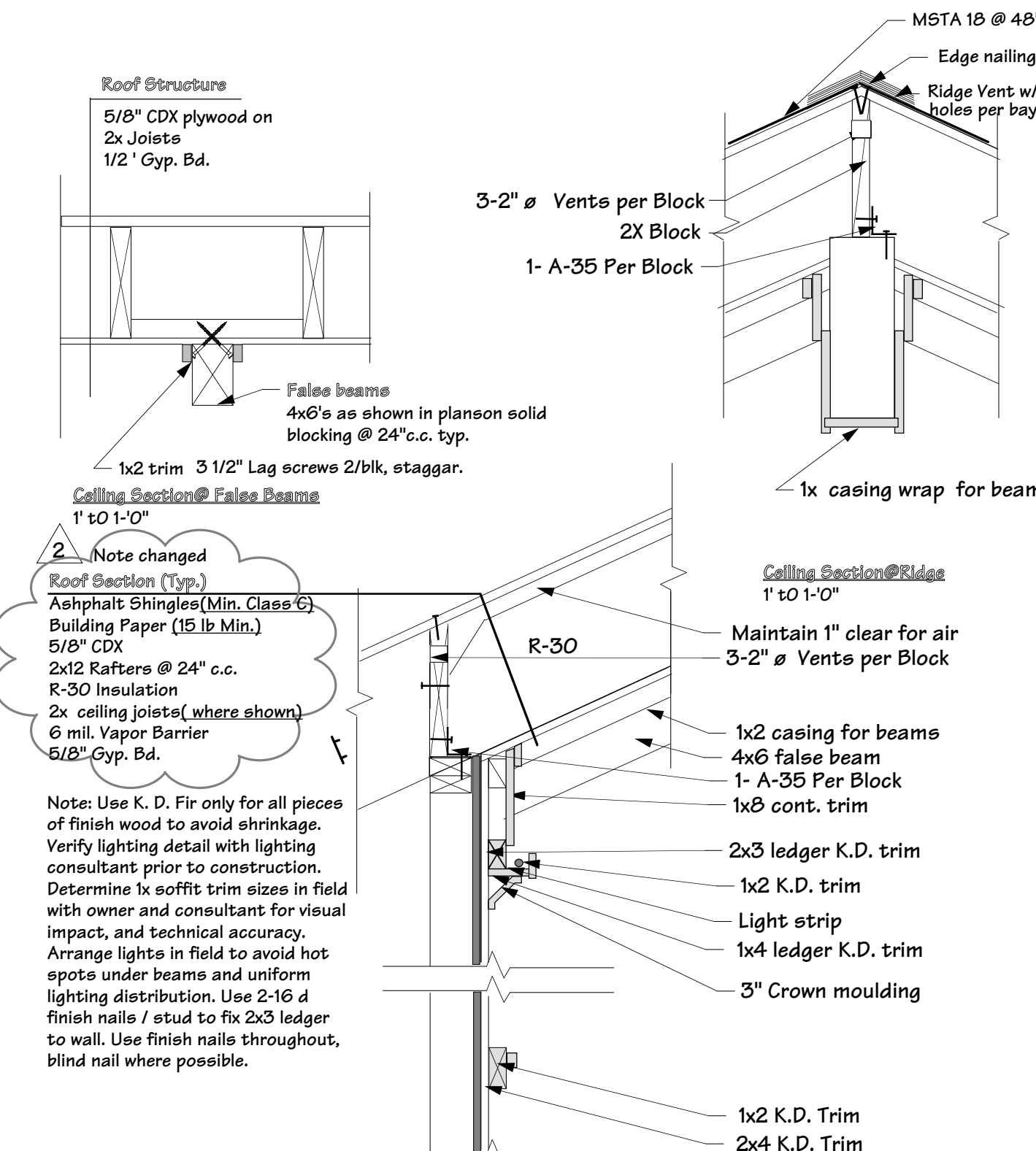
A. Work Included  
This work shall include but shall not be limited by the following:

1. G.I. Gutters and Downspouts
3. Installation

1. The Gutters Shall be G.I. 5" Ogee Gutters with G.I. Square profile downspouts
2. Inter all inside and outside corners. Provide flush endcaps at gable ends.
3. Mount with Spike and Ferrule hangers into rafter ends.
4. Provide snap-in wire mesh over gutter opening to keep leaves out.
5. Provide 75" Elbow in downspouts. Strap Downspouts @ top and bottom and at all joints.
6. Provide Concrete splash blocks at all downspout shoes at grade. Provide concrete splash pans at all locations where upper roof empties onto lower roof.

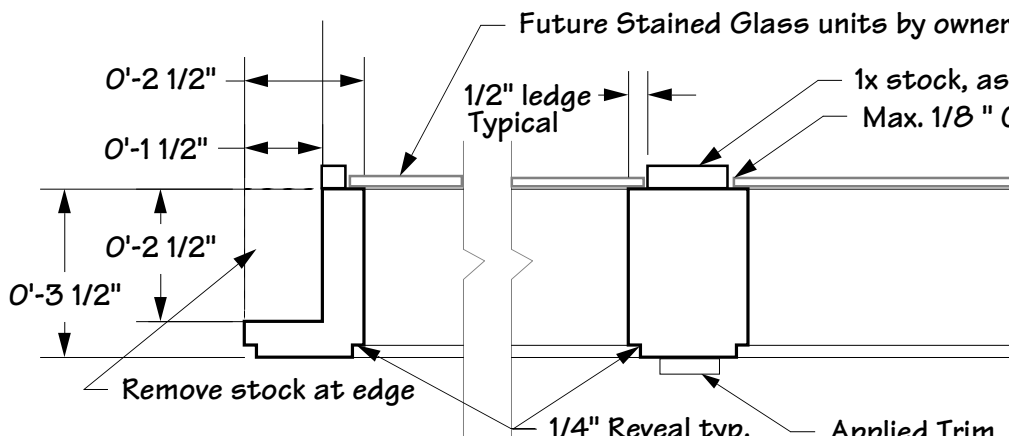
#### Skylites

1. Skylight design to carry all tributary roof loads as specified in UBC 2306 (Ref. section 3401) Skylight mfg. shall submit U.L. or I.C.B.O.



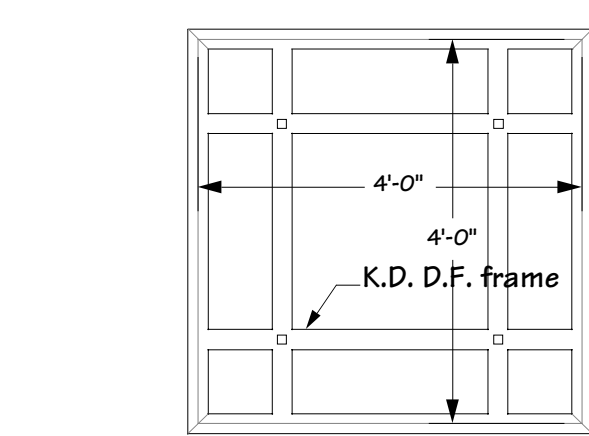
## 2 Typical False Beam & Trim Details @ Living Room Ceiling

Scale 1" to 1'-0"



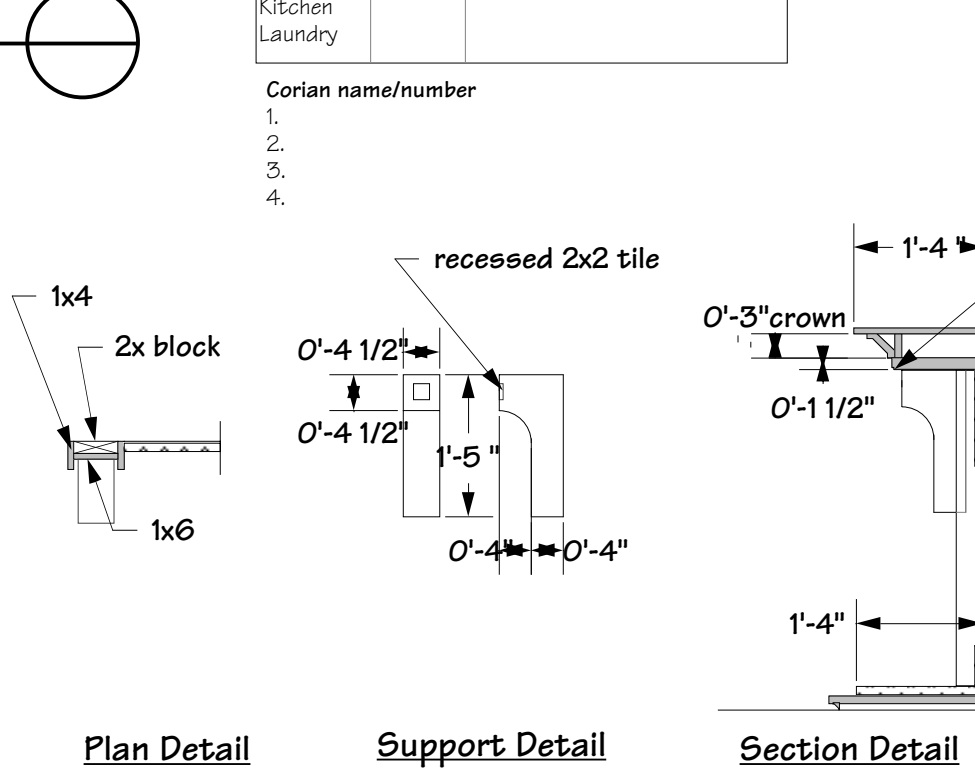
## 3 Section Skylight

Scale 3" to 1'-0"



## 3 Reflected Ceiling Skylite @ Kitchen

Scale 1/2" to 1'-0"



## 4 Fireplace Details

Scale 1/2" to 1'-0"

- 1.2 Quality Assurance
- A. Standards
1. The "Quality Standards" of the Architectural Woodwork Institute shall apply and by reference are hereby made a part of this specification.
- B. Samples
- 1.1. Submit Shop drawings for owner and Architect approval.
- 1.2. Submit finished samples of doors and each finish to be applied.
- 1.3 Field Dimensions
- A. The woodwork manufacturer is responsible for details and dimensions not controlled by job conditions and shall show on their shop drawings all required field measurements beyond their control. The general contractor and the woodwork manufacturer shall cooperate to establish and maintain these field dimensions.
- 1.3 Product Handling
- A. The woodwork manufacturer and the contractor shall be jointly responsible to make certain that woodwork is not delivered until the building and storage areas are sufficiently dry so that the woodwork will not be damaged by excessive changes in moisture content.
- PART 2: PRODUCT
- 2.1 Casework Includes all cabinets, cases, counters and enclosures
- A. Casework for Transparent Finish All cabinet work in Kitchen & Entry - Master bath, Master Bedroom book shelves, Bath #2, and Hall bookshelves
1. AWI quality grade: Custom grade
2. Construction. Details shall conform to Frameless design
5. Exposed parts: K.D. Vertical grain Fir. Stained w/ eggshell finish. This includes insides of cabinets w/ glass doors. (Provide sample for owner approval)
4. Semi-exposed parts: As governed by selected AWI quality grade. Drawers, solid wood, dovetailed. Inside of cabinets, Fir woodgrain as approved by owners.
- A. Casework for Painted Finish. All cabinet work in Master bath, Bath #3, and Laundry room.
- A. Casework Doors:
1. Kitchen- Solid K.D. Vertical Grain Fir frame w/ veneer Fir panel, see details.
2. Living Room - Solid Douglas Fir, verticle Grain. Frame w/ solid Douglas Fir, verticle Grain panel, see details. Shelves w/ 1 1/2" solid edging all around each shelf.
3. Bath #3- Paint Grade Vanity and Medicine cabinets.

#### MILLWORK

##### A. Materials

1. All materials are to the best of their respective kind. Lumber shall bear the mark and grade of the association under whose rules it is produced. All millwork shall be kiln dried.
2. Properly protect all materials. All lumber shall be kept under cover at the job site. Material shall not be delivered unduly long before it is required for work.
3. Installation

1. All work shall be done by skilled workers.
2. All work shall be erected plumb, true, square, and in accordance with the drawings.
3. Finish work shall be blind nailed as much as possible, and surface nails shall be set.
4. All work shall be securely nailed to studs, nailing blocks, grounds, furring, and nailing strips.

##### C. Grades and Species of Lumber

1. Exterior Millwork: No. 1 clear K.D. Redwood, backpainted. The lumber must be sound, thoroughly seasoned, well manufactured and free from warp which cannot be corrected by bridging or nailing. All woodwork which is exposed to view shall be F4S.
2. Interior Millwork: All casings, trim, moldings to be kiln dried D.F. Fir for Stain grade. Even regular nailing patterns for all stain grade installations. All casings, trim, moldings to be kiln dried Poplar for Paint grade.

##### E. Workmanship

1. Interior trim and millwork: All exposed millwork shall be with all joints tight and formed to conceal any shrinkage. Miter exterior angles, butt and cope interior angles, and scarf all running joints in moldings. Provide Mock-up of casings for owner approval.
2. Linen closets : Adjust. plywood shelves w/ solid front edge, painted.
3. Clothes closet : Adjust. plywood shelves w/ solid front edge, painted. Has show over all hanging rods. Provide double hanging rods as directed by drawings or owners.

##### F. Cleanup

1. Upon completion of work, all surplus and waste materials shall be removed from the building, and the entire structure and involved portions of the site shall be left in a neat, clean, and acceptable condition.

##### G. Cabinets

###### 1.1 Scope

- A. Furnish all architectural casework shown on drawings and specified herein.

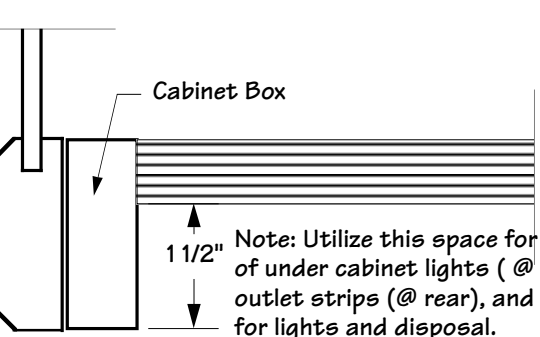
#### Corian Schedule

Note: See Cash Allowances in General Notes.

Location	Counter	Remarks/finish
Master Bath		
Bath #3		
Kitchen		
Laundry		

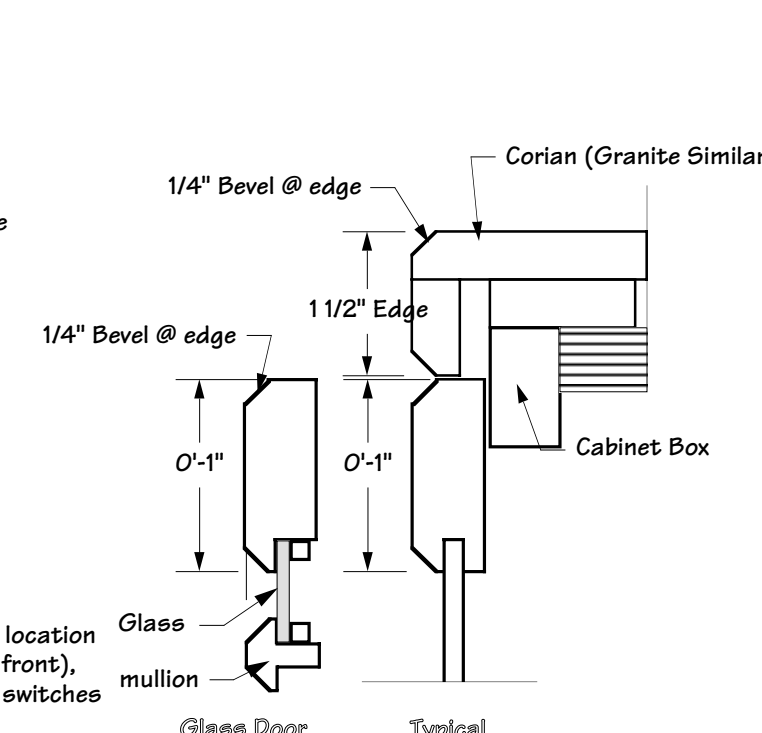
Corian name/number

- 1.
- 2.
- 3.
- 4.



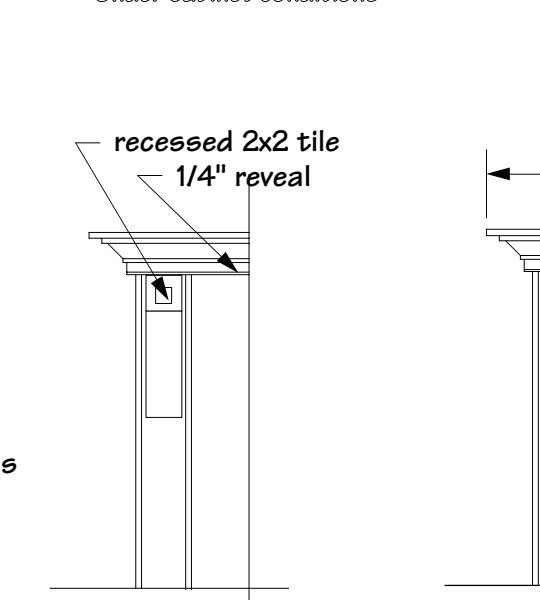
Under Cabinet conditions

- E. Casework Hardware: All cabinet hardware shall be furnished and installed by the casework manufacturer. Door pulls provided by owner and installed by contractor. Hardware to be as follows:
1. Drawer slides: Full extension side mounted heavy duty glides for all drawers and pull out shelves. Provide sample for owner approval.
2. Shelf standards and brackets: 1" increments Type optional with manufacturer.
3. Specialties in Kitchen: One spice drawer, tilt out tray @ main sink, Two Roll out shelves on all lower base cabinets.
5. Hinges: European type 180 degree.
6. Pulls: Provided by owner installed by contractor.
- G. Tops
1. Corian monolithic top: Kitchen and Laundry counters and Bathroom vanity tops. Color and slab to be approved by owner before fabrication. Edge: Thickened to 1 1/2" w/ 1/4" Mitered top and corners. See details. Provide owners w/ samples for approval. Splash backs in Ceramic Tile or as shown.
- H. Other
1. Provide paint grade shelves in linen closets, Clothes closets as directed by owners. Provide double hanging rods in closets as directed by owners.
- I. General
- a. In general grains of veneers should match those of solid wood. Stain should look identical when applied to both surfaces.
- b. Provide Warm air register in kickspace of Kitchen Laundry and Bath base cabinets.



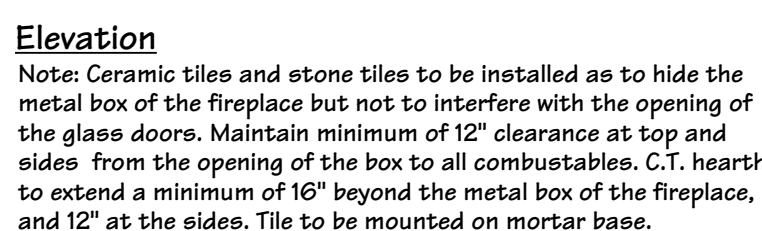
## 8 Cabinet Details

Scale: one half scale



#### Elevation Detail

- Note: All Wood to be K.D. Fir to be stained. Provide Owner w/ sample for approval.



#### Elevation

- Note: Ceramic tiles and stone tiles to be installed as to hide the metal box of the fireplace but not to interfere with the opening of the glass doors. Maintain minimum of 12" clearance at top and sides from the opening of the box to all combustibles. C.T. hearth to extend a minimum of 16" beyond the metal box of the fireplace, and 12" at the sides. Tile to be mounted on mortar base.
- D. Hanging and Fitting of Doors
- All doors shall be accurately cut, trimmed, and fitted to their frames. All doors shall operate freely without binding, and all hardware shall be adjusted properly. Exterior doors shall be fitted with weather stripping.
- E. Interior Door and Window Trim
- All Frames prepared to receive K.D. fir trim (stain) or K.D. Poplar trim (paint) as shown on the plans.
- F. Wood Clad Windows
- All window units shall be Casement with Simulated divided mullions, fixed to glass with internal aluminum spacers, as shown on drawings. Sizes and styles shall be as shown on the drawings. Wood combination with screen units will be furnished for each window. Contractor and Provider to verify locations for tempered glass and egress windows before ordering.
- Bathroom Mirrors
- Mirrors shall be 1/4-inch silver plated glass with copper backing, of First quality, as shown on drawings. Mirrors shall be neatly installed directly on wall with mastic and carefully fitted to the top of the vanity. Mirrors shall be the same length as the vanity top and shall be the height shown on drawings. Grind edges for safety. Provide mirror in panel of Master bath door as shown on drawings.

Note: See Door, Window and skylite schedules for sizes and specifications.

#### Roofing Schedule

No.	Location	Manufacturer	Product	Color/style/size	Remarks
1	Typical	Heritage	M-30	Mountain Slate	Class A U.L. Approved-all roofs Provide samples for owner approval
5	Skylites	Velux	VS 606	44 3/4x 46 1/2	See below

Skylites by Velux...I.C.B.O. # Ner216  
Install all skylites conforming to manufacturer's instructions exactly. All skylites to have building paper flashing under the Velux flashing system per manufacturer's instructions. Glazing to be Tempered or Laminated. Provide 310 Electric control systems for automatic opening and control of ventilation units and all venitian blinds for the VS 606 units. No vents or exhausts within 10'-0" of opening skylite. Double all rafters @ skylite openings. Provide blinds for All skylites except the one in the garage.  
Note: Paint all exposed sheet metal vents, jacks and flashing to match roof. Jacks not shown.

#### Window Schedule

No.	Nominal size	Type	Model	Glazing	Finish	Remarks
W1	7/6x4/6	Casement		Double - low E 1 unit	Tempered	Paint
W2	2/6x4/6	Casement		Double - low E		Paint
W3	1/8x3/6	Casement		Double - low E		Paint
W4	2/6x4/6	Casement		Double - low E Tempered		Paint
W5	5/0x4/0	Casement		Double - low E Tempered		Paint
W6	1/6x4/0	Casement		Double - low E Tempered		Paint
W7	5/0x4/0	Casement		Double - low E Tempered		Paint
W8	2/6x4/0	Casement		Double - low E Tempered		Stain
W9	5/0x4/0	Casement		Double - low E		Paint
W10	4/0x4/0	Casement		Double - low E		Paint
W11	2/6x6/0	Casement		Double - low E Tempered		Paint
W12	1/8x3/0	Casement		Double - low E		Paint
W13	2/6x4/0	Casement		Double - low E		Stain
W14	2/6x3/6	Casement		Double - low E		Paint
W15	3/0x3/0	Casement		Double - low E		Stain

Note: All stain grade windows with Bronze frame screens and hardware (stain grade) hardware. See Plan/Notes For Hinging, and for fixed. Verify all rough openings with Manufacturer.

Note: All Paint grade windows with white frame screens and hardware. Factory prime Interior for paint. See Plan/Notes For Hinging, and for fixed. Verify all rough openings with Manufacturer.

## 2 Note changed

#### Exterior Door Schedule

No.	size	Location	Type	Glazing	Manufacturer	Model	Finish/Remarks
A	6/0x6/10	Living Room	Sliding French ext.	Double-Temp.TDL	Eagle		Stain door and frame
B	2/8x6/10	Laundry	Swing French	Double-Temp.TDL	Eagle		Paint door and frame
C	3/0x6/8	Entry	Swing Panel	Double-Temp.TDL	Omega Too	6 lite	Stain door and frame, weatherstrip Exterior Grade
D	5/0 x ver.	Ext. Closet	Swing Pair, Solid Core	none	special		Paint door and frame Exterior Grade
E	8/0x6/8	Car Door	Swing Panel Pair	single-Temp.TDL	special		Paint door and frame Exterior Grade See elevations Weather strip door against elements.

#### Interior Door Schedule

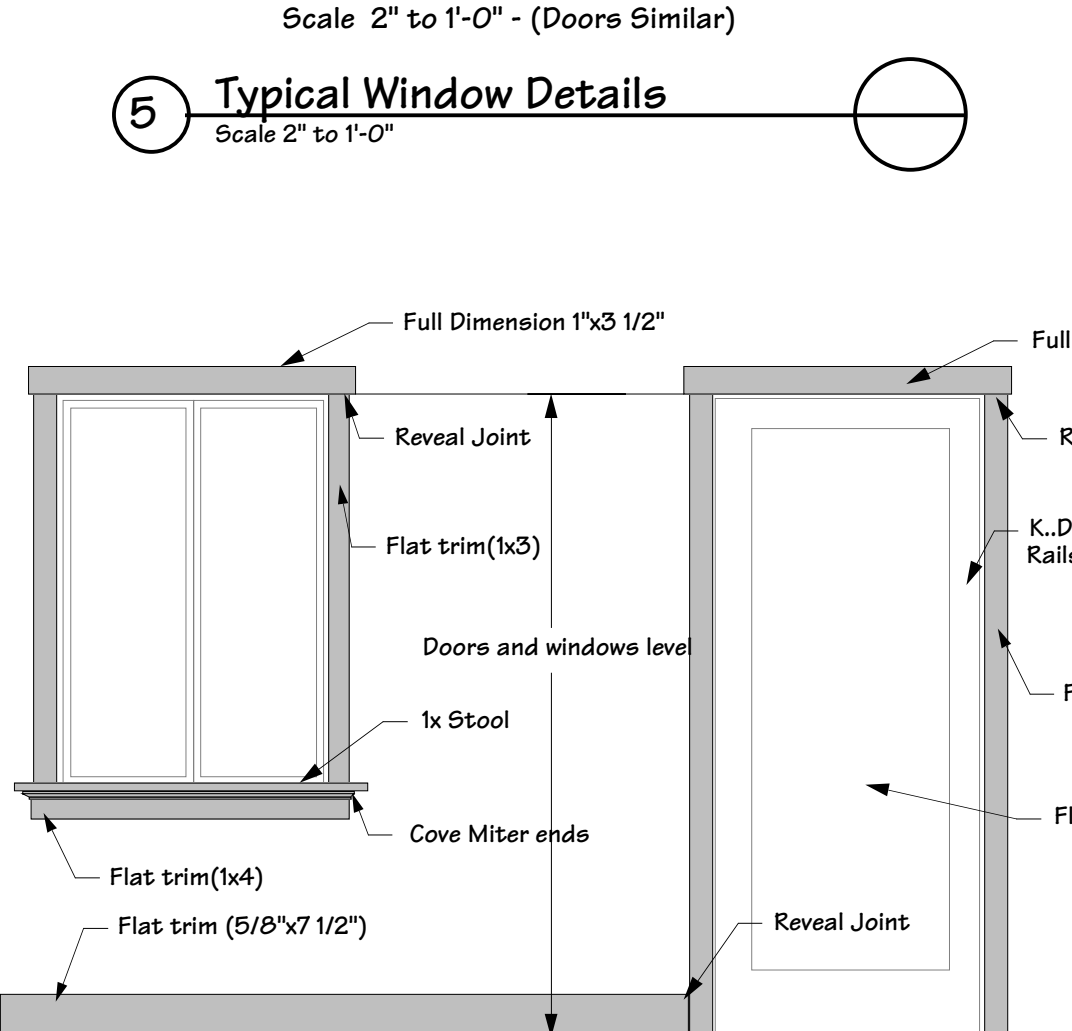
No.	size	Location	Type	Glazing	Manufacturer	Model	Finish/Remarks
F	2/6x6/8	Master B.R.	Swing Panel	none			Stain door and frame one side paint interior
G	2/0x6/8	Various	Pocket Panel	none			Paint door and frame
H	5/0x6/8	Various	Bifold Panel	none			Paint door and frame
I	2/0x6/8	Various	Swing Panel	none			Paint door and frame
J	2/6x6/8	Various	Pocket Panel	none			Paint door and frame
K	2/6x6/8	Garage	Wing Solid Core	none			Paint door and frame, stain one side @ entry& bath #3
L	2/0x6/8	Hall	Swing Panel	none			Paint door and frame
M	1/6x6/8	Gar. Cl.	Swing Panel	none			Paint door and frame
N	3/0x6/8	B.R.#2 Closet	Bifold Panel	none			Paint door and frame
O	5/0x6/8	B.R.#3 Closet	Panel Pair	none			Paint door and frame

#### Door Hardware Schedule

Door	Type	Manufacturer	Finish/Remarks
C Front entry door			
B Side entry door			
A Rear sliding Door		Eagle	Included
D Exterior Closet			
E Garage			
Interior Doors			

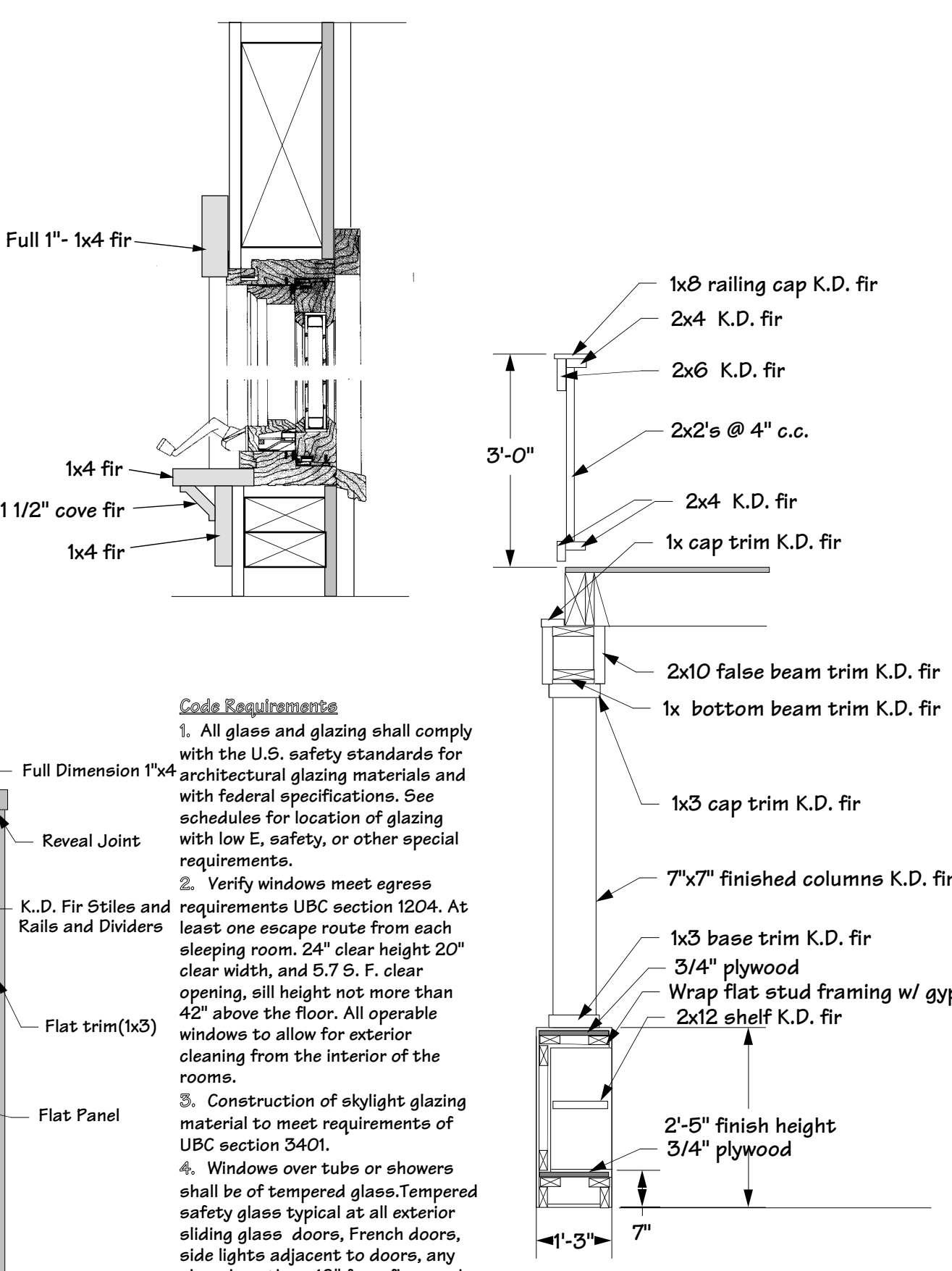
#### Window Detail (Typical)

Scale 2" to 1'-0" - (Doors Similar)



## 6 Typical Window/Door Trim Details

Scale 1/2" to 1'-0"



## 7 Entry Shelves & Loft Handrail Details

Scale 1/2" to 1'-0"



Specifications

Division I: General Requirements

A. General Notes

1. Contract to be signed on AIA form A105 "Owner-Contractor Agreement--Small Projects Edition", with AIA document A-205 "General Conditions of the Contract for Construction of a Small Project" and are hereby made a part of these plans and specifications.
2. The contractor shall visit the site and become familiar with all conditions prior to submitting their proposal. Contractor and/or sub-contractors shall verify all dimensions and conditions shown on these drawings with those at the site. Any variation which requires physical change shall be brought to the attention of the Owner and Architect.
3. All reasonably referred or inferred items shall be performed, as if specifically defined, to the satisfaction of the Architect.
4. Engineers Specifications take precedence over the following architectural specifications, if applicable.
5. Trade names and manufacturers referred to are for quality standards only. Specifications changes will be permitted as approved by the Owner and Architect..
6. The contractor shall be responsible for the satisfactory completion of all work in accordance with the project plans and specifications.
7. Vaulted ceilings shall be provided with a vapor barrier beneath the insulation.
8. Water heater shall be strapped for seismic load. See detail.
9. Water heater shall be insulated as per CEC.
10. Contractor to provide Owners with waivers of lien from all subcontractors of labor and/or materials, prior to payment.

B. Temporary Conveniences

1. The general contractor shall provide suitable temporary conveniences for the use of all workers on this job. Facilities shall be within a weather tight, painted enclosure complying with legal requirements. The general contractor shall maintain all temporary toilet facilities in a sanitary condition.

C. Insurance, Safety, And Protection

1. The Contractor alone is responsible for job site safety. On site observation of the Construction by the Architect is to determine conformance with the plans and specifications. It does not encompass safety procedures or operations. The Work shall be protected by a 6 foot high lockable fence for the duration of the work. Fence shall secure work area of project. Provide 2 keys to owners and 1 keys to Architect.
2. All existing plantings, fences, and like items Shown on the Drawings, that are to remain shall be protected from damage or if damaged, shall be restored or replaced to the condition existing before the damage occurred. Verify with owners which plants to remain or to be protected. Contractor to provide owner with on site water at all times to irrigate exist. plants. This will be done by the owners or their gardener.
3. The contractor shall be responsible for damage due to bad weather and shall make all corrections to this damage at no added cost to the architect or owner.
4. The general contractor shall protect all existing driveways, parking areas, sidewalks, curbs, and existing paved areas on, or adjacent to, the owner's property. The contractor shall replace all damaged property to the state that it existed before the damage.
5. The contractor shall carry Builders Insurance to cover the cost of this work and all coverage as defined in Article 11 of the general conditions, or as required by the City of Palo Alto. The owner and City shall be presented with certificate of Contractor's insurance and Workman's compensation insurance prior to commencing work. Present Owner with a copy of current Contractor's Liscense.

D. Pumping

1. The general contractor shall keep the excavation free from water at all times and shall provide, maintain, and operate at his own expense such pumping equipment as shall be necessary.

E. Grades, Lines, Levels, And Surveys

The owner shall establish the lot lines if required by city.  
The general contractor shall:

1. Establish and maintain bench marks.
2. Verify all grades, lines, levels, and dimensions as shown on the drawings, and report any errors or inconsistencies before commencing work. Verify the location of the Garage and whatever grade changes are necessary to arrive at existing sidewalk height and provide proper drainage from driveway and sidewalks.
3. Lay out the building accurately.

F. Final Cleaning

1. The contractor shall maintain the site clear of trash and debris. All waste materials shall be removed from the site prior to substantial completion and final acceptance. The contractor shall present the building to the owner for acceptance, clean and ready for occupancy. All glass shall be cleaned, floors swept broom clean, fixtures washed with all labels removed, and exterior hand-raked free of debris.
- In addition to the general room cleaning, the general contractor shall do the following special cleaning upon completion of the work:

1. Wash and polish all glass and cabinets.
2. Clean and polish all hardware.
3. Remove all marks, stains, fingerprints, and other soil or dirt from walls, woodwork, and floors.

G. Guarantees

The general contractor shall guarantee all work performed under the contract against faulty materials or workmanship. The guarantee shall be in writing. In case of work performed by subcontractors where guarantees are required, the general contractor shall secure written guarantees from those subcontractors. Copies of these guarantees shall be delivered to the owner upon completion of the work. Guarantees shall be signed by both the subcontractor and the general contractor. All Guarantees shall be for the duration of one year from final completion of project, unless otherwise noted.

H. Codes And Regulations

1. All work shall comply to latest editions of state and local codes and ordinances and shall be done to the highest standards of craftsmanship by journeymen of the respective trades. In General, current edition of 1994 U.B.C. to be in effect.

I. Ventilation

1. Location of Foundation vents to conform to UBC Section 2516-C. Center vents under windows where possible or where shown on drawings.
2. Provide under roof cross ventilation at the rate of 1/150 of the attic area, per UBC 3505-C 1/300 for cathedral ceilings with vapor barriers.
3. Bathrooms with or without operable windows shall be mechanically ventilated.
4. Sleeping rooms to be naturally ventilated with clear open area not less than 5% of the floor area of the room.

J. Access

1. Provide 18" min. by 24" min. access to all foundation spaces as per Sec. 2516(c) 2, U.B.C.. Provide 1 access within 20' of bathroom and kitchen plumbing.
2. Provide 22" min. by 30" min. access to all attic spaces with 30" clear ht. or more per UBC. Sect. 3205-A. Reuse Existing Attic access in den closet.

K. Fire Protection

1. All garage walls and ceiling common with house of supporting living area above to be 1 hour construction, 5/8 type "X" gypsum board minimum. Doors from garage to house to be 1 hour rated with self-closing device and weather stripping.
2. Provide single station smoke detectors mounted on ceiling in all rooms used for sleeping purposes. Smoke detectors shall receive their primary power from the building wiring. Wiring shall be permanent and without a disconnection switch other than those required for overcurrent protection. Detectors to be interconnected, and integrated into the security system.
3. Provide 6" min. clearance on sides and back of furnaces.
4. Top of fireplace chimneys to extend 2 feet min. above any roofing material within 10 feet (measured horizontally) of chimney.

L. Bathrooms

1. Water closet to have a min. clear stall space of 30" and a min. clear space of 24" in front.
2. All hardwood flooring to be installed in accordance with the latest NOFMA specification and recommendations.
3. All tile work to be installed in accordance with the latest Tile Council of America specifications and recommendations.
4. All plumbing work shall comply with the UPC latest edition, safety orders of the State of California and all local codes and ordinances.
5. All heating and ventilation work shall comply with applicable codes and the recommended practices of SASHRAE & SMACNA
6. All electrical work shall conform to the latest national electrical code and all other codes and requirements.

M. Toxic Materials Removal (If required)

1. All handling and removal of toxic material to be done by a certified toxic waste contractor. Certification to be done by the state of California and registered with the local building official.

N. Cash Allowances

1. Provide a cash allowance of \$15.00/sq. ft. average price for ceramic tiles, material only, Contractor to provide all labor and material to install tile in mortar base as indicated on drawings. Provide a cash allowance of \$9.00/sq. ft. for stone tiles, material only.
2. The contractor shall allow in the proposal the sum of Two thousand five hundred dollars (\$2,500.00) for the purchase of door hardware (does not include cabinet hardware). These allowances cover the net cost to the contractor and does not include any labor, overhead, or profit.

O. Work Or Purchases Done By Owners

1. For Items noted To Be Chosen or T.B.C. Contractor will purchase and install items and purchase price will be added to the bid price at time of clarification. Installation to be accounted for at time of bid.
2. Owners to purchase all wall hung and ceiling hung surface mounted incandescent light fixtures both interior and exterior. Contractor to install.
3. Owner to purchase all light track light fixtures, contractor to install. Owner to purchase all cable mounted halogen accent lights in Living room. Contractor to provide two continuous exposed power source cables, power transformers, and wall mounting connectors. Contractor to provide continuous strip lighting for cove moulding lighting in Living Room. Provide samples for Owner and Architect Approval.
4. Owners to pay for plan check and building permits.
5. Owners to purchase the following miscellaneous items, and contractor will install. Towel bars and hooks, toilet paper dispensers, kitchen cabinet and bathroom vanity pulls, doornell, water filter for kitchen.
6. Owners to subcontract or do work themselves for installation of: automatic irrigation system, and low voltage exterior lighting systems for landscaping. Contractor will cooperate with owners during the course of this work.

P. Glazing

1. All glass and glazing shall comply with the U.S. safety standards for architectural glazing materials and with federal specifications. See schedules for location of glazing with low E, safety, or other special requirements. Any Glazing subject to impact or within 24" of an exterior doorway to be tempered.
2. Verify windows meet agress requirements UBC section 1204. At least one escape route from each sleeping room. 24" clear height 20" clear width, and 5/7 S. F. clear opening, all height not more than 42" above the floor. All operable windows to allow for exterior cleaning from the interior of the rooms.
3. Skylight design to carry all tributary roof loads as specified in UBC 2305 (Ref. section 3401) Skylight mfg. shall submit U.L. or I.C.B.O.
4. Construction of skylight glazing material to meet requirements of UBC section 3401.
5. Windows over tubs or showers shall be of tempered glass. Tempered safety glass typical at all exterior sliding glass doors, French doors, side lights adjacent to doors, any glass less than 18" from floor and interior shower enclosures.

1. Change Orders/"As Built" drawings/and Permit sets

Any work requiring a change in cost of construction or time shall be prepared by the contractor and submitted to the Owner and Architect for their approval PRIOR to doing the work. Unapproved change orders cannot be submitted after the work is completed. In this case, the contractor shall be responsible for the full cost of the change and shall create. If changes or clarifications are required in the drawings, the Contractor shall promptly notify the Architect for a request for clarification. The Contractor shall keep two wet signed (by the Architect or Engineer) updated copies as a record set to be included in the Permit set of working drawings, for approval by the Building Inspector. A permit set shall be kept on site at all times in a plastic container for use by the Architect or Building Inspector while visiting the site. These drawings are NOT to be used by the contractor or subcontractors to perform the work. They are to be kept as a record set of the Construction. The contractor shall bear the cost and expenses of delays for any changes made by the Contractor without approvals, if later rejected by the City or Architect or owner.

Division 2: Sitework

A. Sitework Preparation

1. A preconstruction meeting will be held with all concerned parties, to review sitework preparation, construction, and coordination between all subcontractors.
2. All excavation and backfilling required for heating, plumbing, and electrical work will be done by the respective contractors and are not included under site work.
3. Clearly mark underground utility lines, pipe, cable, and conduits.

B. Survey Check

1. Verify locations and provide clear marking of:  
\_\_\_Property lines \_\_\_Setback lines \_\_\_Easements \_\_\_Right of way
2. Check site survey for errors and notify Architect of necessary corrections

C. Sitework Demolition

1. Demolish Porches and slabs as required to facilitate construction
2. Clean the area within the limits of the building of all trees, shrubs, or other obstructions as necessary, or as shown on drawings.
3. Plants removal

1. Within the limits of grading work as shown on the drawings, identify and label existing shrubs and trees:

- to remain \_\_\_to be relocated \_\_\_to be removed
2. Remove such trees, shrubs, or other obstructions as are indicated on the drawings to be removed, without injury to trunks, interfering branches, and roots of trees to remain.
3. Do cutting and trimming only as directed by owner.
4. Box and protect all trees and shrubs in the construction area to remain; maintain boxing until finished grading is completed.
5. Remove all debris from the site; do not use it for fill.

C. Soil Preparation and Excavation

1. Carefully remove all sod plants and soil throughout the area of the building and where finish grade levels are changed.
2. Pile on site where directed. This soil is to be used later for finished grading. Do not strip below topsoil.
3. Do all excavation required for:  
\_\_\_footings \_\_\_walls \_\_\_trenches \_\_\_Drainage \_\_\_pits \_\_\_foundations.
4. Remove all materials encountered in obtaining indicated lines and grades required.
5. Excavate all foundations to levels shown on drawings.
6. The general contractor shall notify the Architect when the excavation is completed so that he may inspect the soil before concrete is placed.
7. Protect the bottom of the excavation from the accumulation of debris.

C. Backfill

1. All outside walls shall be backfilled to within 6 inches of the finished grade with clean fill.
2. Backfill shall be thoroughly puddled and tamped solid.
3. Backfill under floor slabs and elsewhere as required to bring the earth to proper levels and grades for subsequent work. Use only earth without rubbish. All fill shall be well tamped and puddled to prevent settling.
4. Unless otherwise directed by the architect, no backfill shall be placed until all walls have developed such strength to resist thrust due to filling operations.

C.Exterior Grading/ Drainages/ Topsoil

See Plot Plan for area limits under contract.

1. Do all excavating, filling and rough grading to bring entire area outside of the building to levels shown on Details and elevations. Generally slope grade from house at 1/2" / foot for the first three feet, 1/4" / foot thereafter. Bring finish grades to level of 6" below top of footing.
2. Water collected from roof gutters and downspouts is to be conveyed away from the residence via closed conduit and discharged onto concrete splash blocks and away from house.
3. Where existing trees are to remain, if the new grade is lower than the natural grade under the trees, a sloping mound shall be left under the base of the tree extending out as far as the drip line of the branches; if the grade is higher, a dry well shall be constructed around the base of the tree to provide the roots with air and moisture.
4. After rough grading has been completed and approved, spread the topsoil evenly to the previously stripped area. Prepare the topsoil to receive grass seed by removing stones, debris, and unsuitable materials. Hand rake to remove water pockets and irregularities.
5. Seeding will be done by the owner.

ADDITION WORKSHEET	Page 1	ADD
Project Title..... Schwartz/Conlon Res./Ad'n	Date.....	04/28/99
Project Address..... 2330 Bryant	*****	
Documentation Author... Palo Alto, CA 94301	**v4.50*	
	*****	
	Building Permit #	
	Plan Check / Date	
	Field Check/ Date	
Climate Zone..... 04		
Compliance Method..... MICROPS4 v4.50 for 1995 Standards by Enercomp, Inc.		
	*****	
	MICROPAS4 v4.50 File-AISCHMX	Program-ADDITIONS
	Users=MP0865 User=The Architectural Machine	Run-Existing + Addition

ADDITION WORKSHEET - COMPUTER PERFORMANCE									
EXISTING									
File Name.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Run Title.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Conditioned Floor Area.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Standard Design Energy Use.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Proposed Design Energy Use.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
NEW (EXISTING PLUS ADDITION)									
File Name.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Run Title.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Conditioned Floor Area.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Standard Design Energy Use.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Proposed Design Energy Use.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
FLOOR AREA RATIO									
Existing Floor Area.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
New Floor Area.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
Ratio.....	.....	.....	.....	.....	.....	.....	.....	.....	.....
1074 / 1905 =	.....	.....	.....	.....	.....	.....	.....	.....	.....
ADDITION DESIGN ENERGY USE FOR NEW (EXISTING PLUS ADDITION)									
New Standard	.....	.....	.....	.....	.....	.....	.....	.....	.....
Ratio	.....	.....	.....	.....	.....	.....	.....	.....	.....
Existing Proposed	.....	.....	.....	.....	.....	.....	.....	.....	.....
Standard	.....	.....	.....	.....	.....	.....	.....	.....	.....
Design	.....	.....	.....	.....	.....	.....	.....	.....	.....
Weight	.....	.....	.....	.....	.....	.....	.....	.....	.....
34.15 + 0.564 x ( 97.90 - 23.98) =	.....	.....	.....	.....	.....	.....	.....	.....	.....
Note: If (Existing Proposed - Existing Standard) is negative, this difference is set to zero.									

ADDITION ENERGY USE SUMMARY									
Energy Use	.....	.....	.....	.....	.....	.....	.....	.....	.....
Design	.....	.....	.....	.....	.....	.....	.....	.....	.....
Proposed	.....	.....	.....	.....	.....	.....	.....	.....	.....
Design	.....	.....	.....	.....	.....	.....	.....	.....	.....
Norml	.....	.....	.....	.....	.....	.....	.....	.....	.....
Design	.....	.....	.....	.....	.....	.....	.....	.....	.....
Weight	.....	.....	.....	.....	.....	.....	.....	.....	.....
15.82	.....	.....	.....	.....	.....	.....	.....	.....	.....
62.55	.....	.....	.....	.....	.....	.....	.....	.....	.....
10.28	.....	.....	.....	.....	.....	.....	.....	.....	.....
*** Addition complies with Computer Performance ***									

CERTIFICATE OF COMPLIANCE: RESIDENTIAL		Page 1	CF-1R
Project Title..... Schwartz/Conlon Res./Ad'n		Date.....	04/28/99
Project Address..... 2330 Bryant		*****	
Documentation Author... Palo Alto, CA 94301		**v4.50*	
		*****	
		Building Permit #	
		Plan Check / Date	
		Field Check/ Date	
Climate Zone.....	04		
Compliance Method.....	MICROPAS4 v4.50 for 1995 Standards by Enercomp, Inc.		
		*****	
		MICROPAS4 v4.50 File-AISCHMX Wkt-CF204592 Program-FORM	CF-1R
Users=MP0865 User=The Architectural Machine		Run-Existing + Addition	
GENERAL INFORMATION			
Conditioned Floor Area.....	1905 sf		
Building Type.....	Single Family Detached		
Construction Type.....	Existing Plus Addition		
Building Front Orientation.....	Front Facing 45 deg (NE)		
Number of Dwelling Units.....	2		
Number of Stories.....	2		
Floor Construction Type.....	Raised Floor		
Glazing Percentage.....	24.3 % of floor area		
Average Glazing U-value.....	0.6 Btu/hr-sq-F		

BUILDING SHELL INSULATION									
Component	Frame	Cavity	Sheathing	Assembly					
Type	Type	R-value	R-value	U-value	Location/Comments				
Wall	Wood	R-85	R=0	0.386					
Wall	Wood	R-13	R=0	0.088					
Roof	Wood	R=0	R=0	0.306					
Roof	Wood	R=30.7	R=0	0.035					
Floor	Wood	R=0	R=0	0.057					
Floor	Wood	R=19	R=0	0.037					
Floor/Ext	Wood	R=19	R=0	0.048					
Door	n/a	R=0	R=n/a	0.330	Solid Wood				
FENESTRATION									
Orientation	Area (sf)	U-Value	Pane-Description	Shading/Exterior	Overhang/Framing	Insulation	Finis Type		
Window	Front (NE)	85.5	0.600	2	Drapes,StG	None	None	Wood	
Window	Left (SE)	117.5	0.600	2	Drapes,StG	None	None	Wood	
Window	Back (SW)	125.5	0.600	2	Drapes,StG	None	None	Wood	
Window	Right (NW)	87.5	0.600	2	Drapes,StG	None	None	Wood	
Window	Door	40.2	0.600	2	Drapes,StG	None	None	Wood	

CERTIFICATE OF COMPLIANCE: RESIDENTIAL
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